

Scale: 1/8" = 1'-0"

REVISIONS

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SITE ADDRESS:
744 N. NAPLES ST.
HENDERSON, NV. 89015

NAME:
DAVE G. REYNOLDS

PARCEL #
179-04-510-001

PHONE:
(702) 499-3283

MAILING ADDRESS:
431 HULL ST.
HENDERSON NV 89015

SIGNATURE

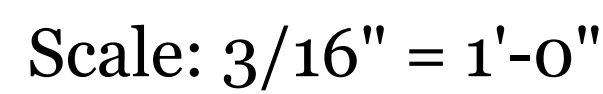
DATE

STATE OF NEVADA
GENERAL CONTRACTOR
ASSURED DEVELOPMENT INC.
LIC #85280
EXP 3/31/2022
PROFESSIONAL CONTRACTOR

SITE PLAN

ORIGINAL DATE:
05/13/21
SCALE:
3/16" = 1'-0"
LIVABLE AREA:
4,618 SQ. FT.

A0.0



FLOOR PLAN 2ND FLOOR)

ORIGINAL DATE:

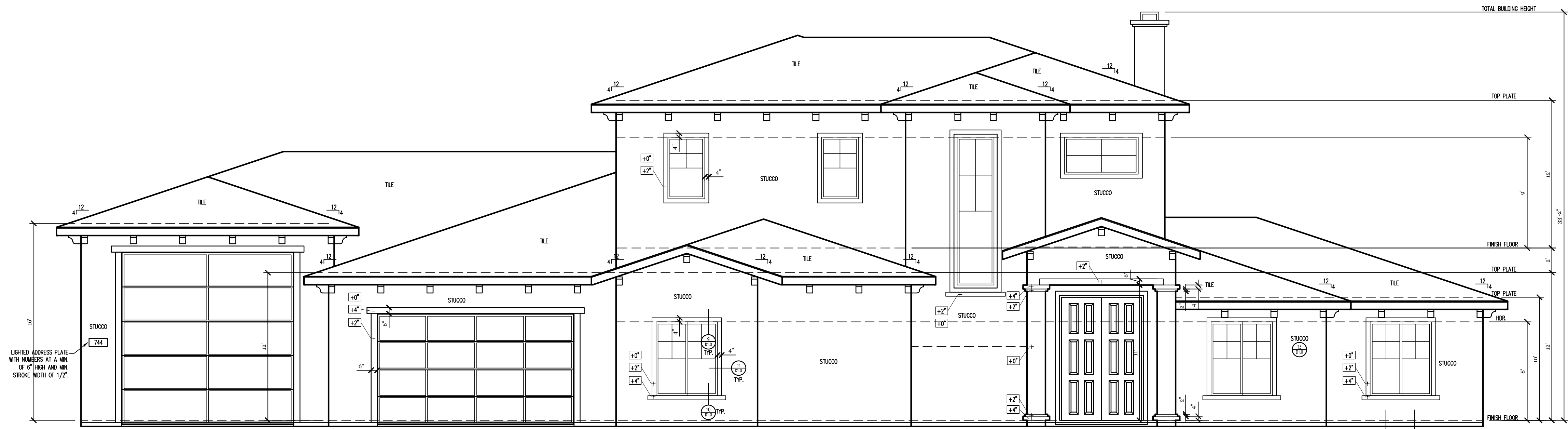
SCALE:

3/16" = 1'-0"

LIVABLE AREA:

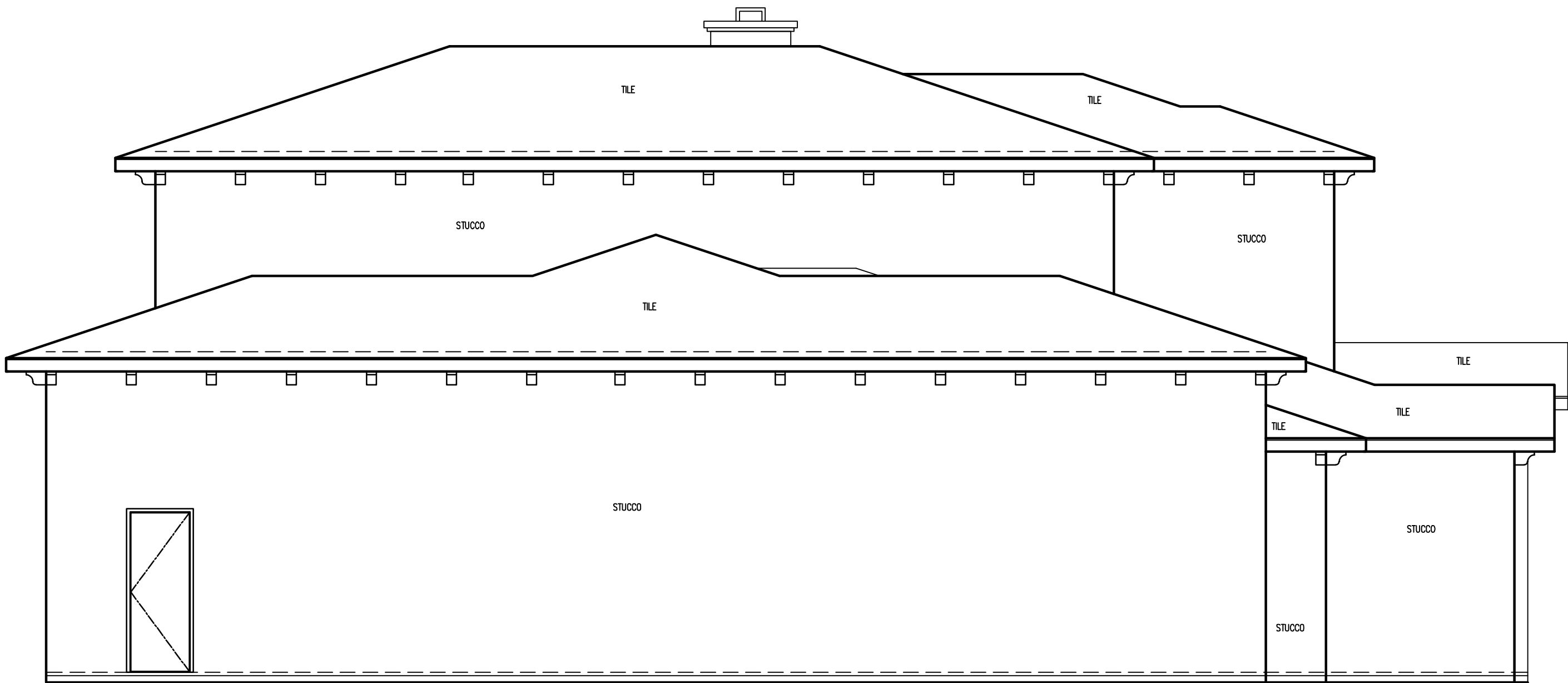
4,618 SQ. FT.

A1.1

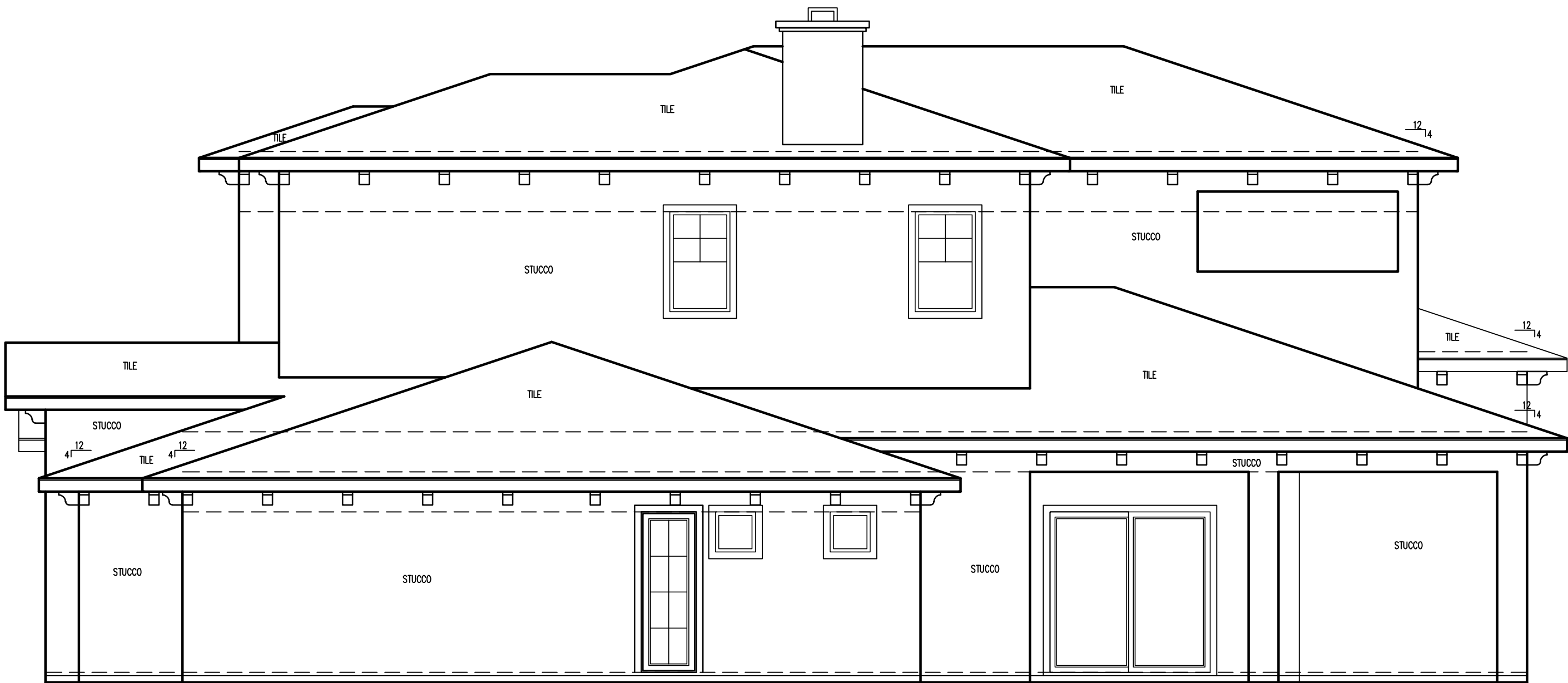


FRONT ELEVATION

TILE	CONCRETE TILE 4" TYPE 30 TILT SINK LAPPED 1/2" (12mm) & END LAPPED 1" (25mm) 1/2" TYP. OSB (TYP)
STUCCO	STUCCO w/FOAM BOARD/THERMAL BARRIER WITH INSUL. OF 1/2" IN ACCORDANCE w/IRC



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

Scale: 3/16" = 1'-0"

REVISIONS

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PARCEL #
179-04-510-001

SIGNATURE

DATE

STATE OF NEVADA
B-2 GENERAL
CONTRACTOR
ASSURED DEVELOPMENT INC.
LIC #85280
EXP 3/30/2022
PROFESSIONAL CONTRACTOR

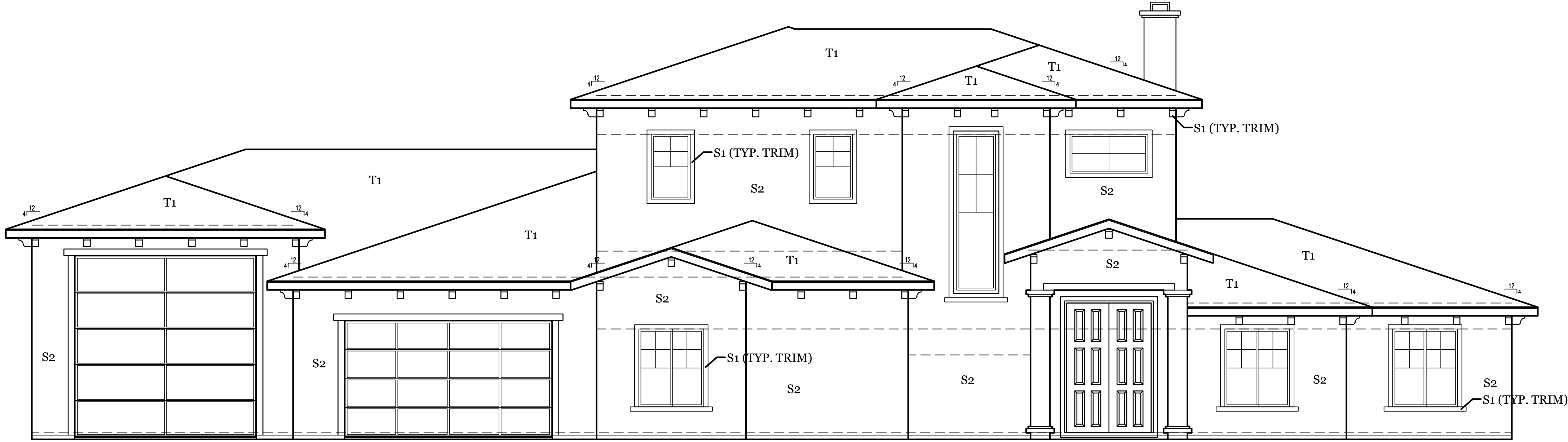
EXTERIOR ELEVATIONS

ORIGINAL DATE:
05/13/21

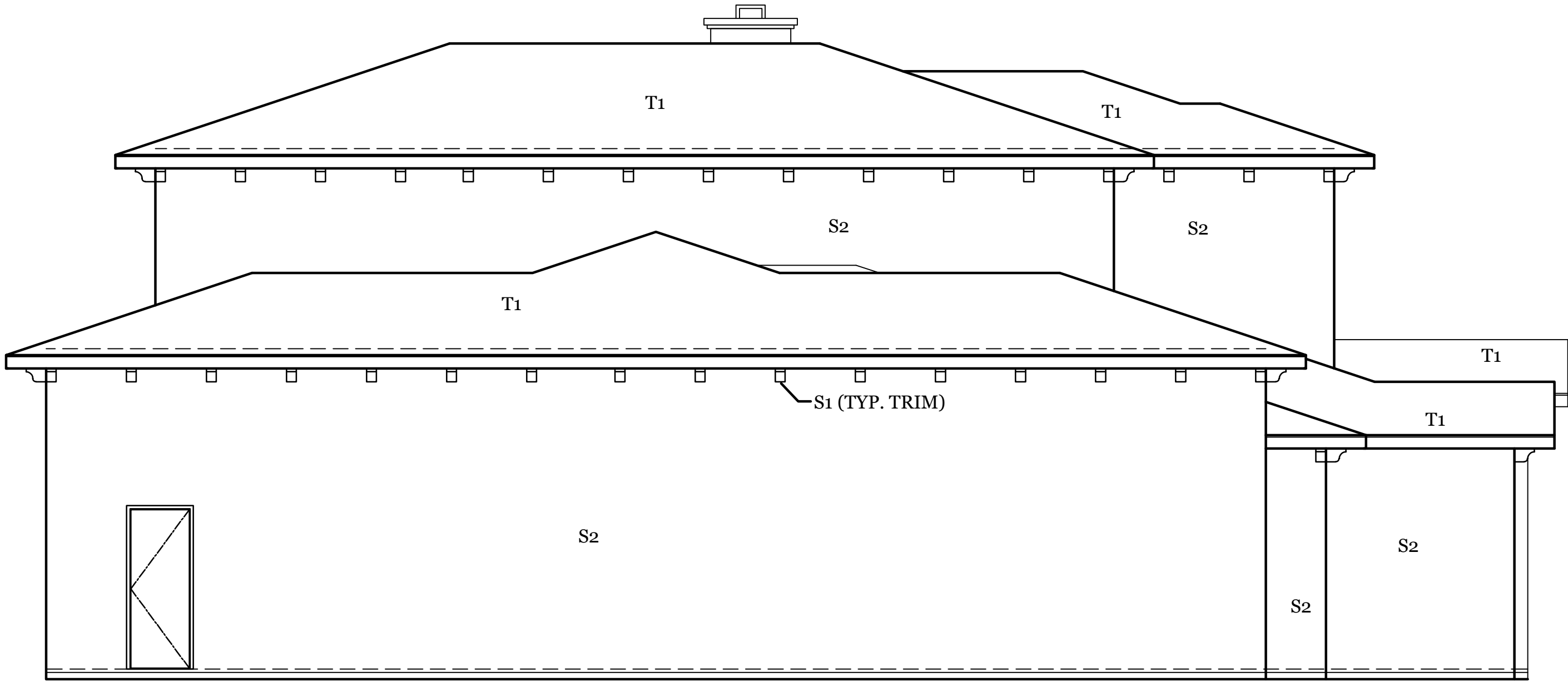
SCALE:
3/16" = 1'-0"

LIVABLE AREA:
4,618 SQ. FT.

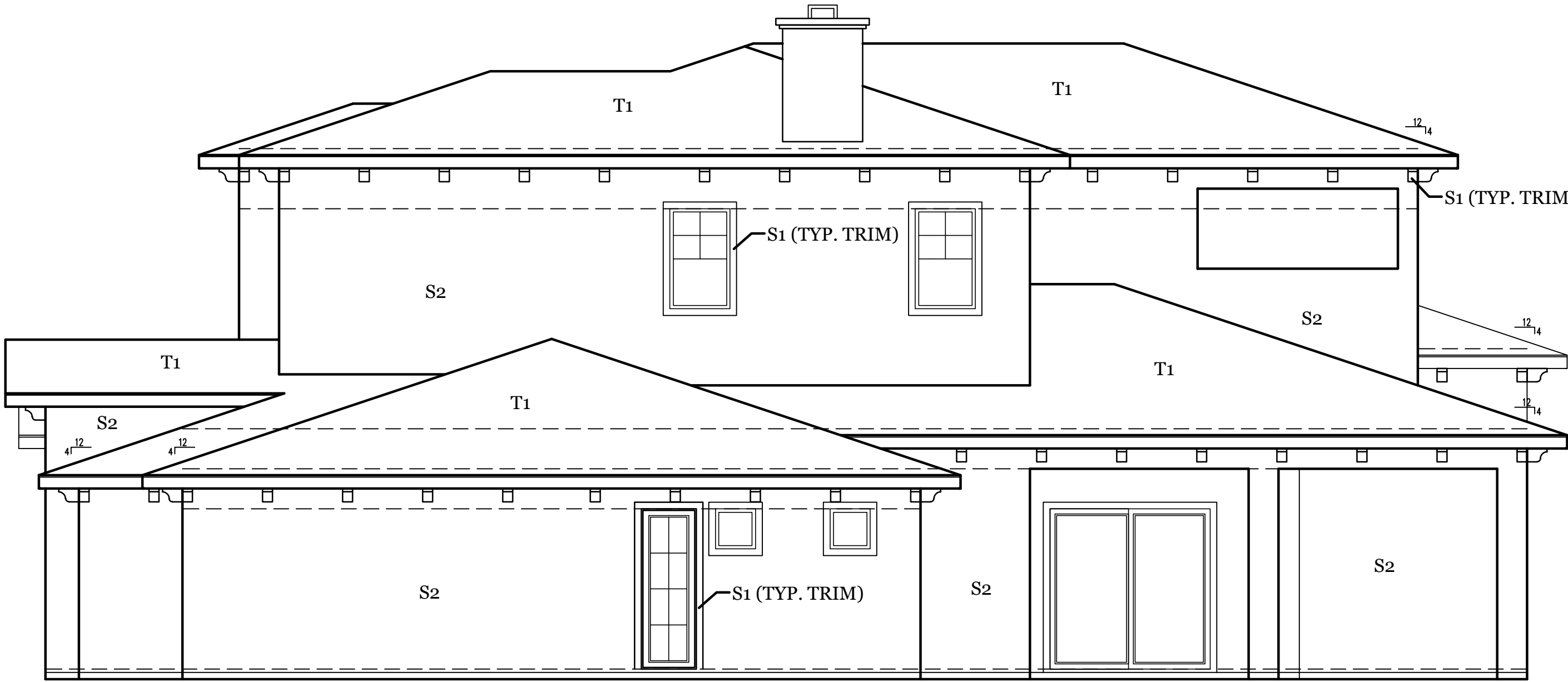
A2.0



FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

COLOR & FINISH LEGEND

S1 =

BLACK BEAN (6006) SHERWIN WILLIAMS

S2 =

SMART WHITE (6007) SHERWIN WILLIAMS

STUCCO: MEDIUM TEXTURE PATTERN

T1 =

CHARCOAL FLAT CEMENT ROOF TILE

REVISIONS	
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SITE ADDRESS:
744 N. NAPLES ST.
HENDERSON, NV. 89015

NAME: DAVE G. REYNOLDS
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HENDERSON NV 89015

PARCEL #
179-04-510-001

SIGNATURE

DATE

STATE OF NEVADA

8-2 GENERAL CONTRACTOR

ASSURED DEVELOPMENT INC.

LIC #85280

EXP 3/31/2022

PROFESSIONAL CONTRACTOR

EXTERIOR ELEVATIONS

COLORS & MATERIALS

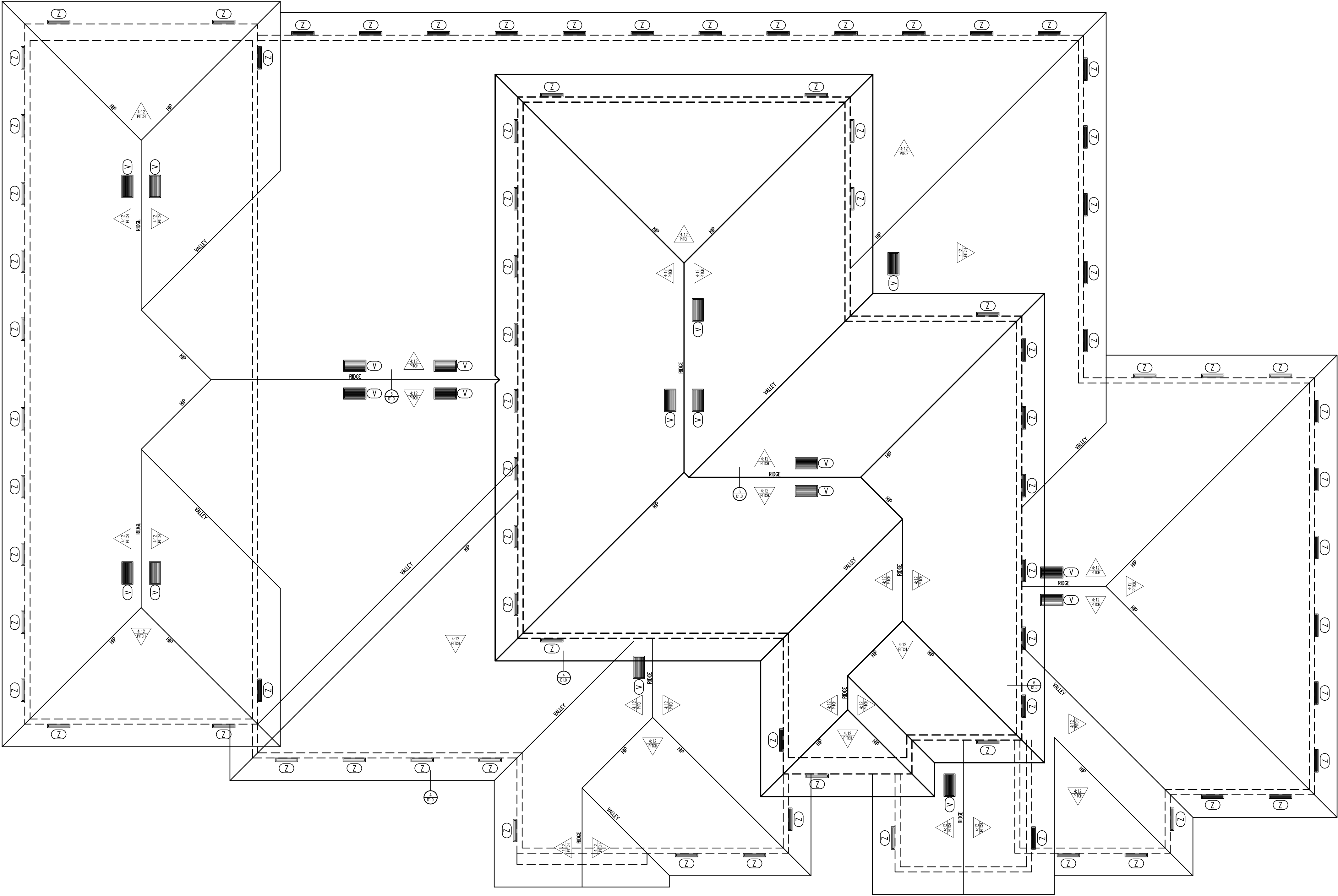
ORIGINAL DATE:
05/13/21

SCALE:
3/16" = 1'-0"

LIVABLE AREA:
4,618 SQ. FT.

A2.0

Scale: 3/16" = 1'-0"



○ ATTIC VENTILATION INFO.

(1/300)Ventilation Rule				(1/300)Ventilation Rule			
ATTIC SPACE		SQ. FT.		ATTIC SPACE		SQ. FT.	
2ND FLR.		2,063		1ST FLR./GARAGE		5,059	
Divided By 300 =		6.88		Divided By 300 =		16.86	
Hi/Low Requirements:3.44				Hi/Low Requirements:8.43			
High Ventilation				High Ventilation			
QTY.	TYPE	AREA		QTY.	TYPE	AREA	
1	5	✓ 3.5		1	13	✓ 9.1	
Low Ventilation				Low Ventilation			
2	23	≥ 3.52		2	56	≥ 8.57	
TOTAL:		7.02		TOTAL:		17.67	
VENT TYPE	CONFIGURATION	SQ. FT. OF FREE AREA		VENT TYPE	CONFIGURATION	SQ. FT. OF FREE AREA	
A	12" x 12"	0.375		N	36" x 36"	5.118	
B	12" x 18"	0.666		O	6" TRI-VENT	1.7	
C	14" x 18"	0.805		P	8" TRI-VENT	3.5	
D	14" x 24"	1.1736		Q	12" ROUND	0.28	
E	14" x 30"	1.5347		R	18" ROUND	0.833	
F	16" x 22"	1.208		S	12" HALF RND.	0.145	
G	18" x 18"	1.055		T	18" HALF RND.	0.416	
H	18" x 24"	1.534		U	DORMER VENT	0.7	
I	20" x 20"	1.354		V	CLOAKED TILE	0.7	
J	20" x 28"	2.069		W	2-2" PER B.B.	0.044	
K	24" x 30"	2.715		X	3-2" PER B.B.	0.066	
L	30" x 30"	3.43		Y	4-2" PER B.B.	0.088	
M	30" x 36"	4.243		Z	3'x22" SCREEN	0.153	
Garage + Livable + Porch + Patio (Sq.Ft.)= Total Sq.Ft.							
VENTILATION AREA FORMULA (Total Sq. Ft.) = FREE VENT AREA (300) or (150)							
ALL ATTIC VENTILATION SHALL COMPLY w/ IRC.							

REVISIONS

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744 N. NAPLES ST
HENDERSON, NV. 89015

NAME: DAVE G. REYNOLDS

PARCEL #
179-04-510-001

PHONE:
(702) 499-3283

MAILING ADDRESS:
431 HULL ST.
HENDERSON NV 89015

SIGNATURE

DATE

STATE OF NEVADA

REGISTERED GENERAL CONTRACTOR

ASSURED DEVELOPMENT INC.

LIC #85280

EXP 3/31/2022

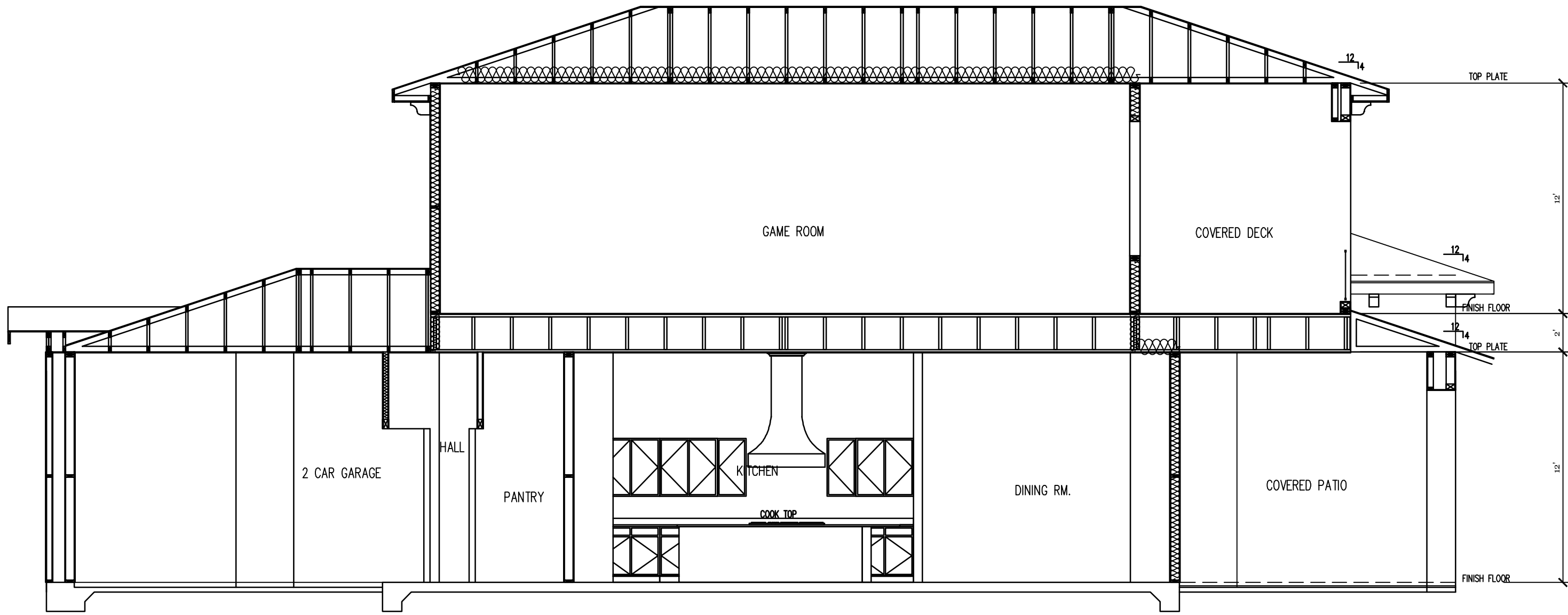
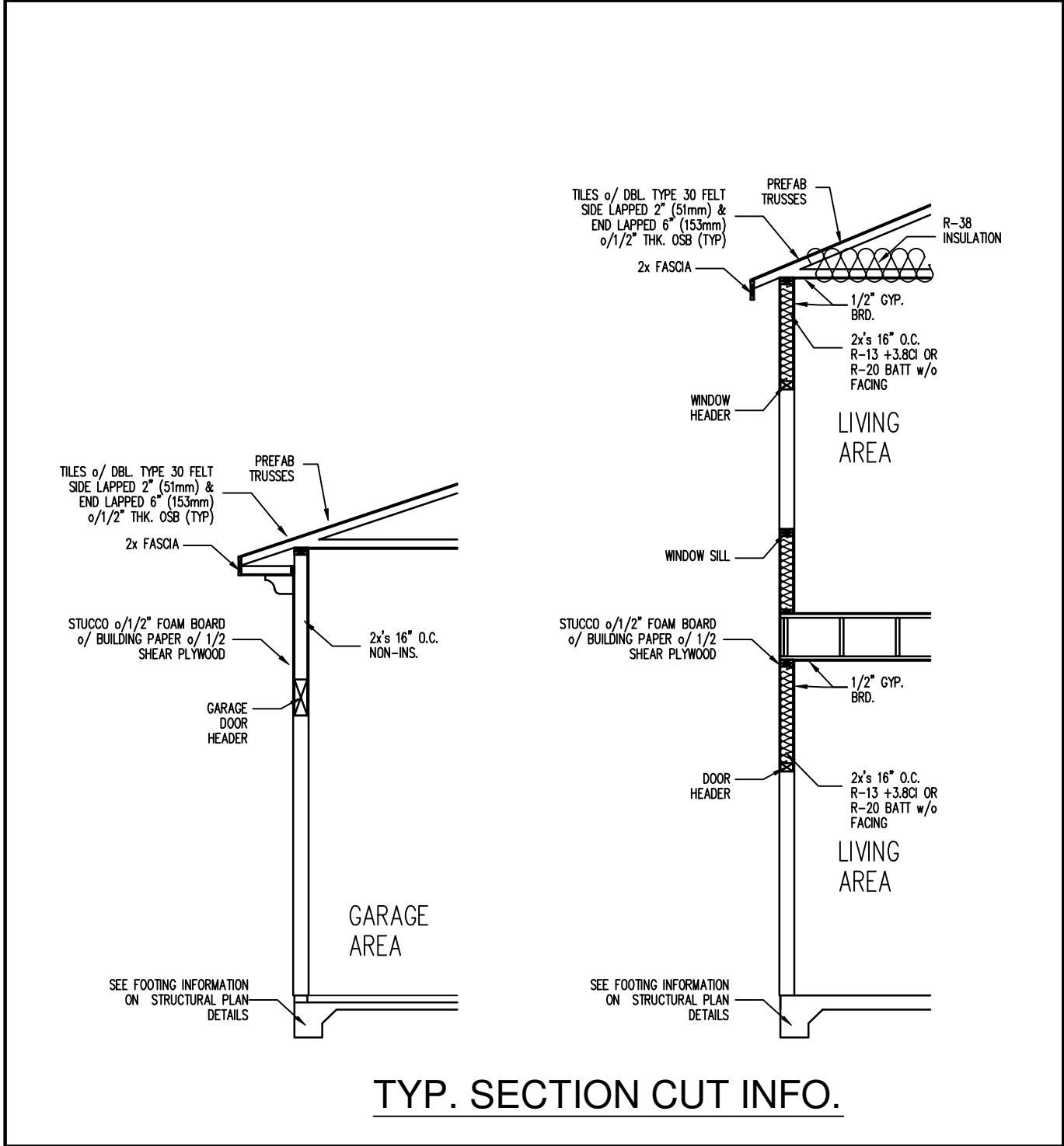
PROFESSIONAL CONTRACTOR

ORIGINAL DATE:
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SCALE:
3/16" = 1'-0"

LIVABLE AREA:
4,618 SQ. FT.

A3.0



Scale: 1/4" = 1'-0"

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NAME: DAVE G. REYNOLDS
SITE ADDRESS: 744 N. NAPLES ST.
HENDERSON, NV. 89015
PHONE: (702) 499-3283
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HENDERSON NV. 89015
PARCEL #: 179-04-510-001

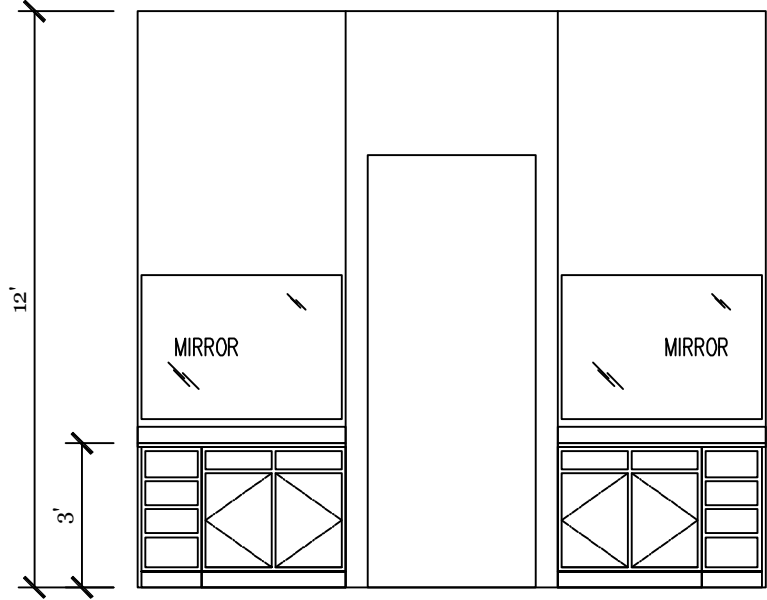
SIGNATURE _____
DATE _____

STATE OF NEVADA
GENERAL CONTRACTOR
ASSURED DEVELOPMENT INC.
LIC #85280
EXP 3/30/2022
PROFESSIONAL CONTRACTOR

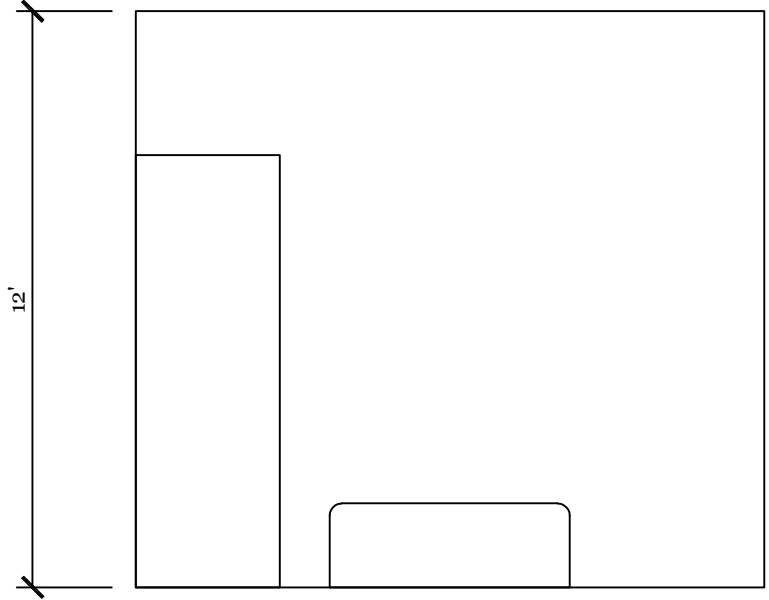
SECTION CUTS

ORIGINAL DATE: 05/13/21
SCALE: 3/16" = 1'-0"
LIVABLE AREA: 4,618 SQ. FT.

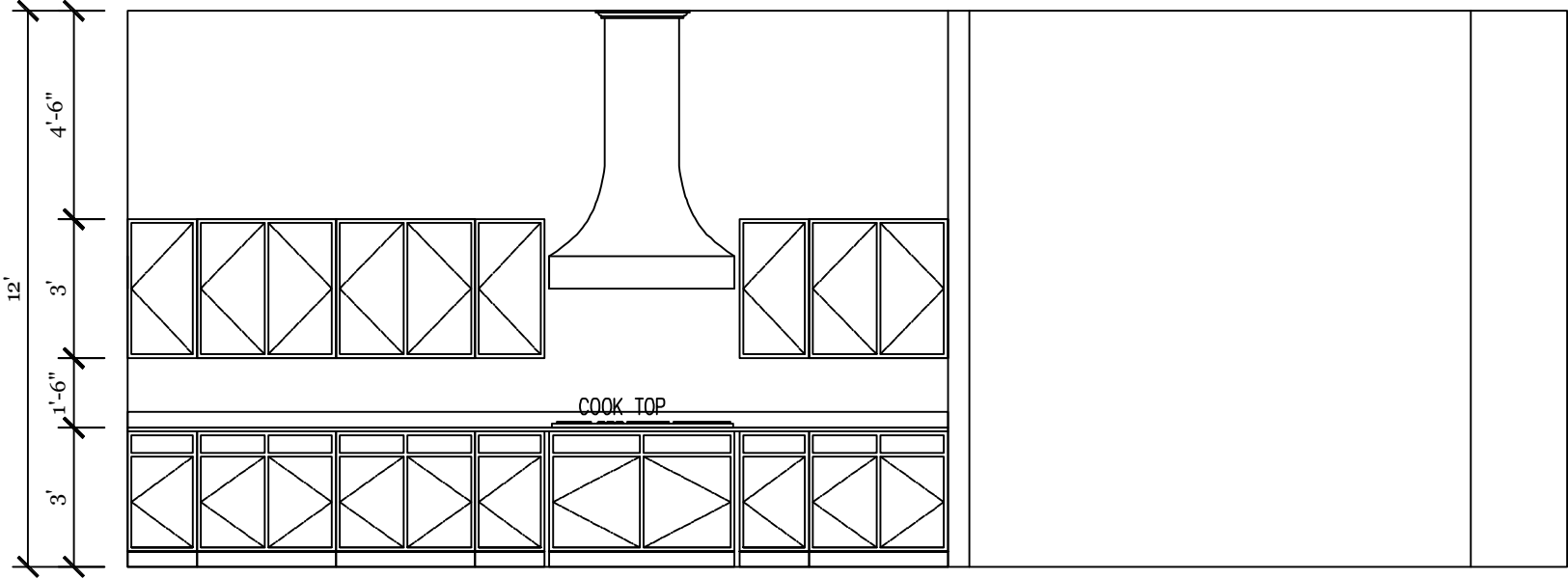
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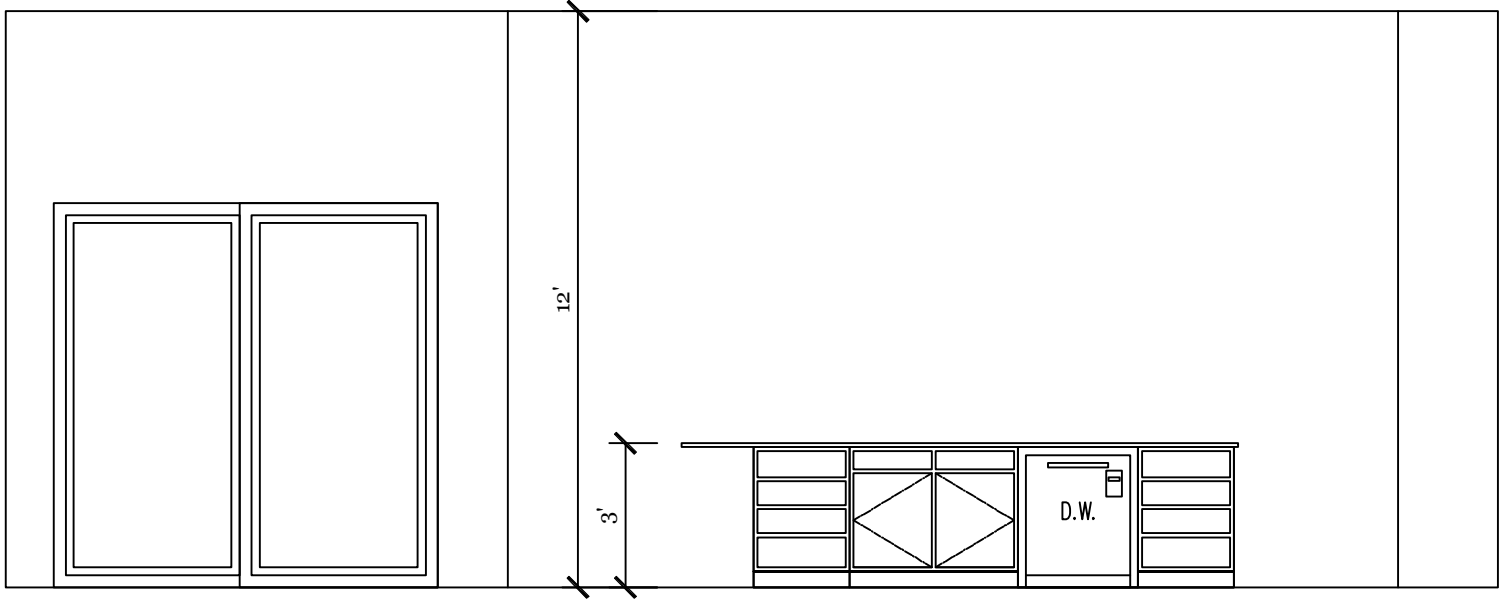
1A – INTERIOR ELEV. (MASTER BATHROOM)



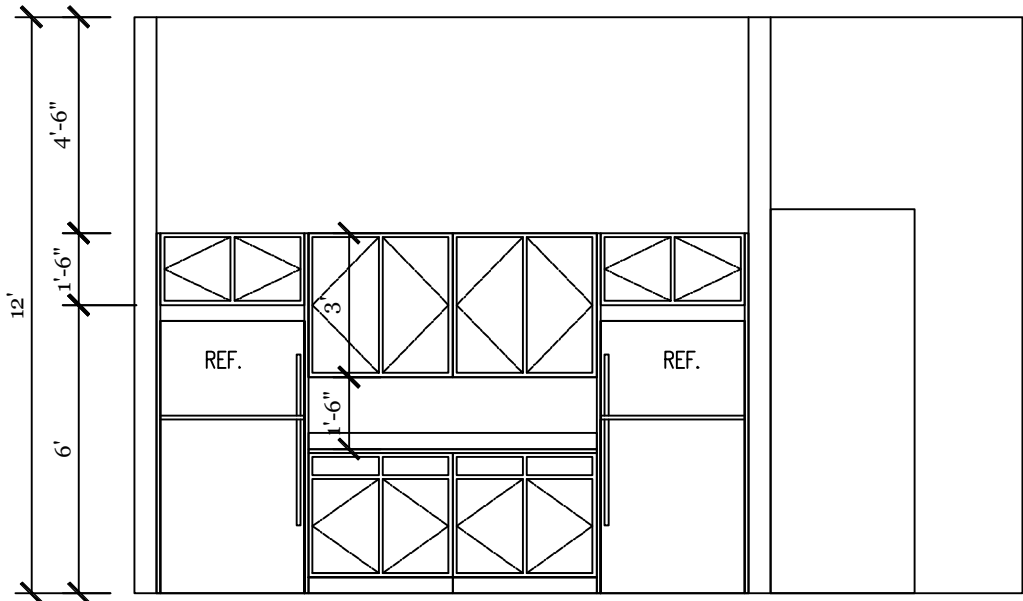
1B – INTERIOR ELEV. (MASTER BATHROOM)



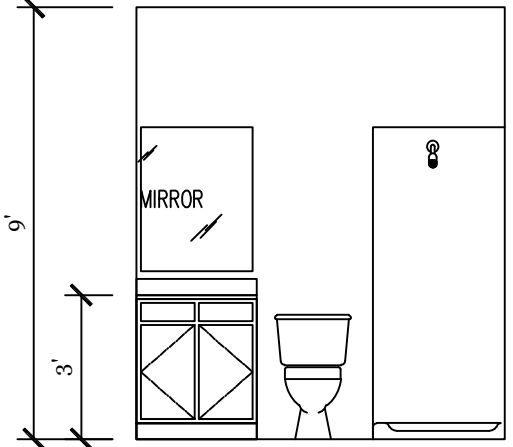
2A – INTERIOR ELEV. (KITCHEN)



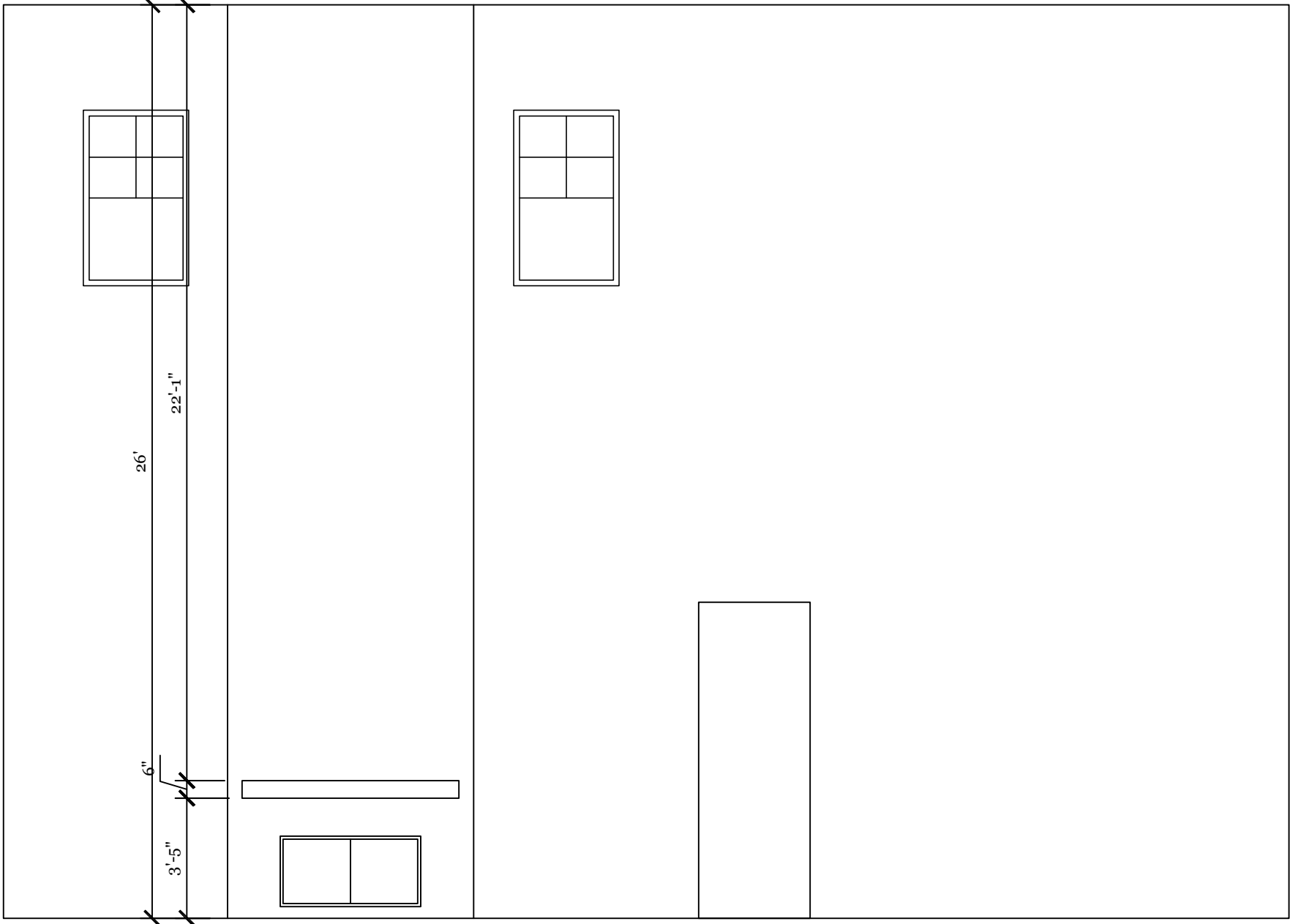
2B – INTERIOR ELEV. (KITCHEN)



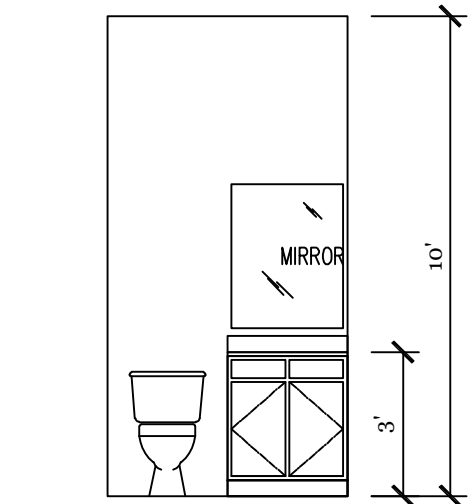
2C – INTERIOR ELEV. (KITCHEN)



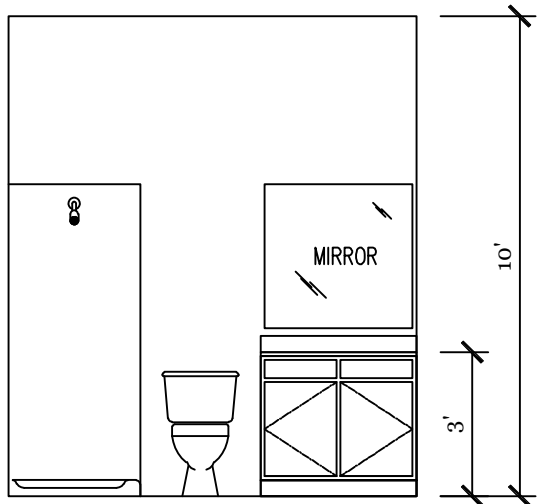
3A – INTERIOR ELEV. (BATH)



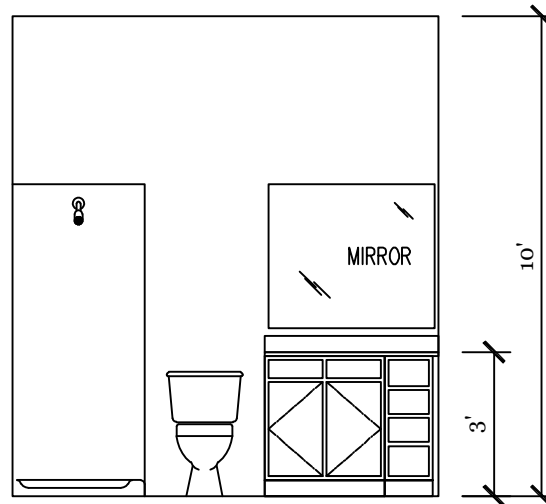
4A – INTERIOR ELEV. (GREAT ROOM)



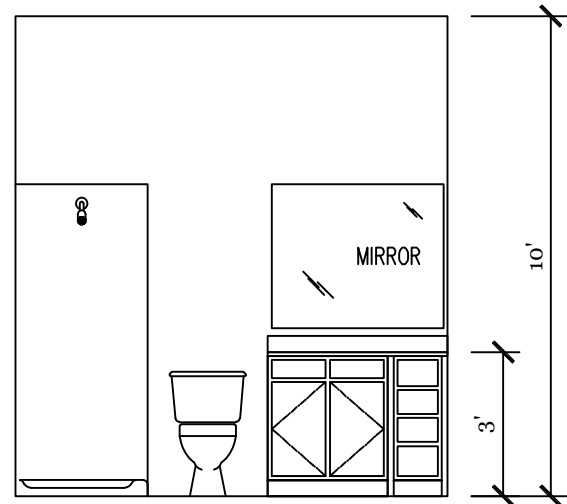
5A – INTERIOR ELEV. (POOL BATH)



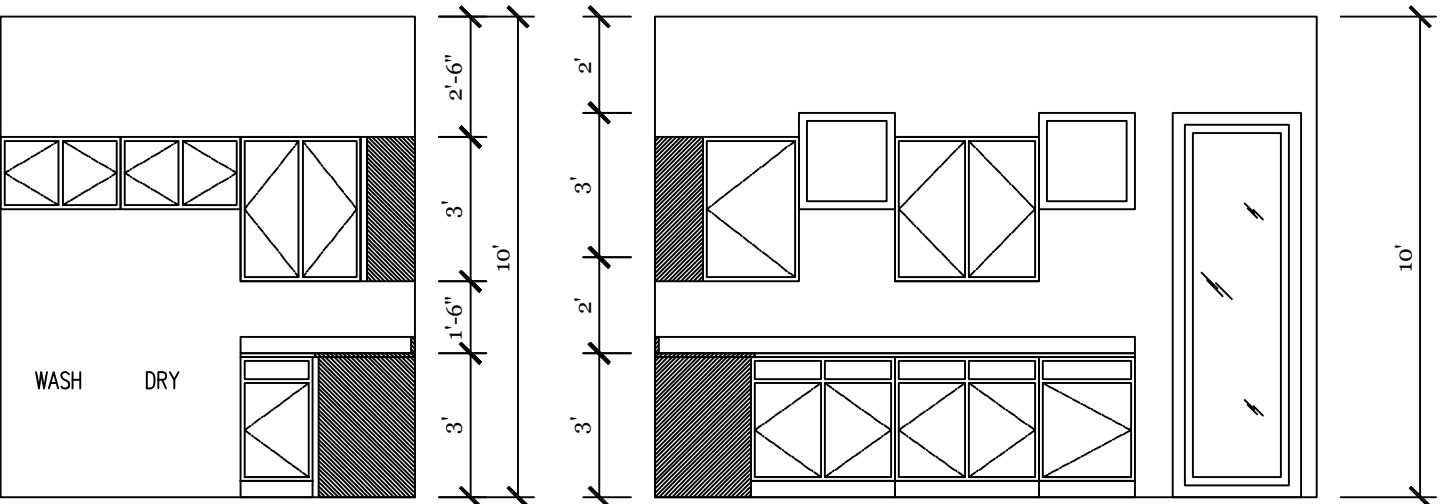
6A – INTERIOR ELEV. (BATH)



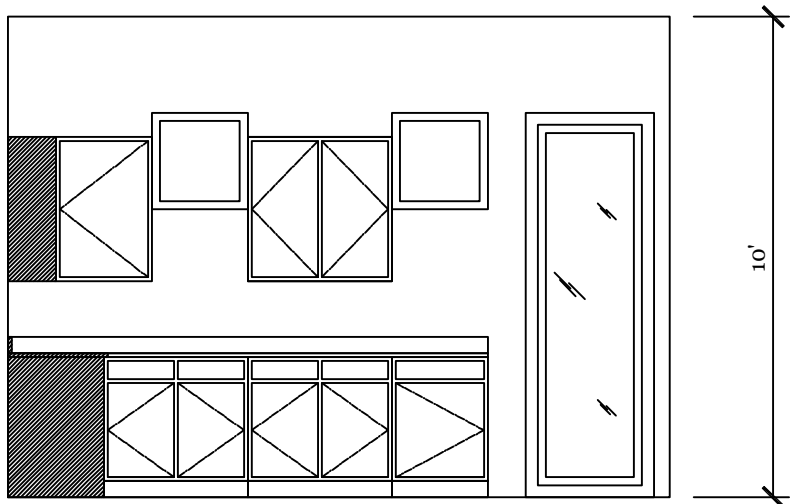
7A – INTERIOR ELEV. (BATH)



8A – INTERIOR ELEV. (BATH)



9A – INTERIOR ELEV. (LAUNDRY)



9B – INTERIOR ELEV. (LAUNDRY)

Scale: 1/4" = 1'-0"

REVISIONS	
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PARCEL #
179-04-510-001

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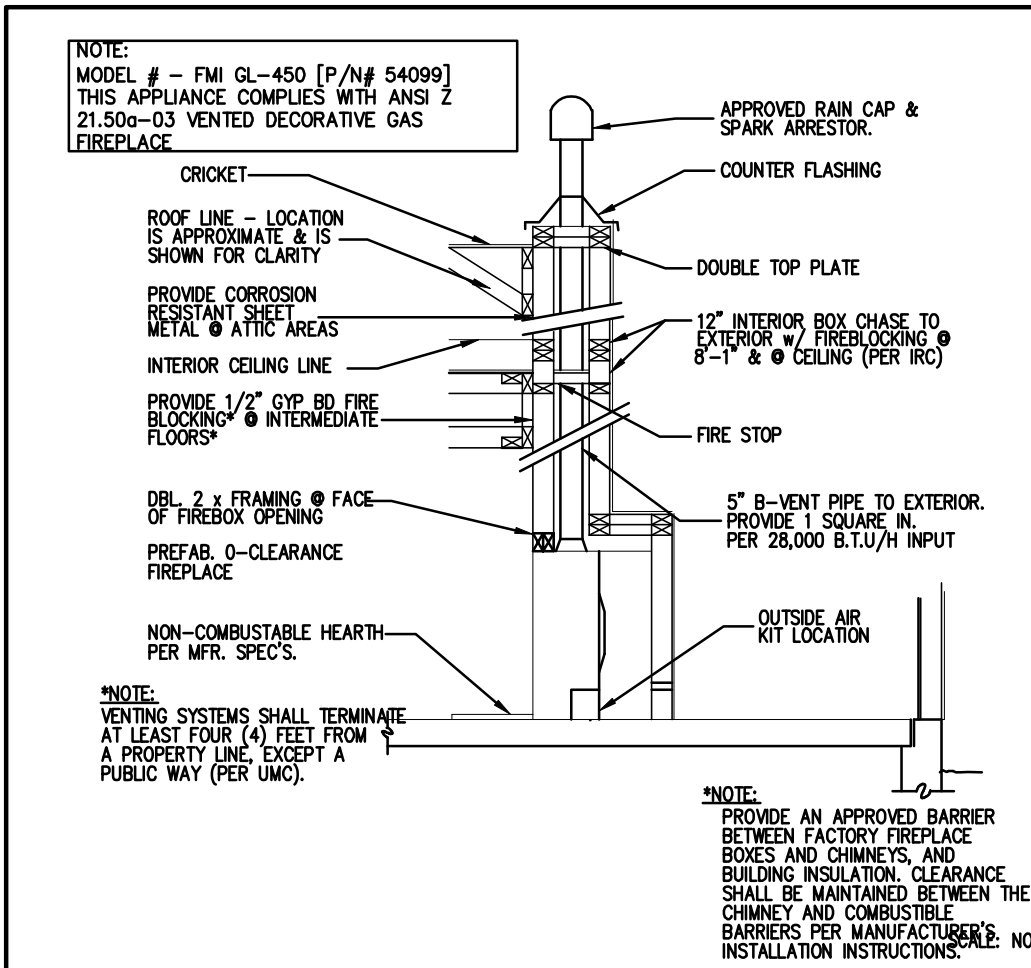
SIGNATURE

DATE

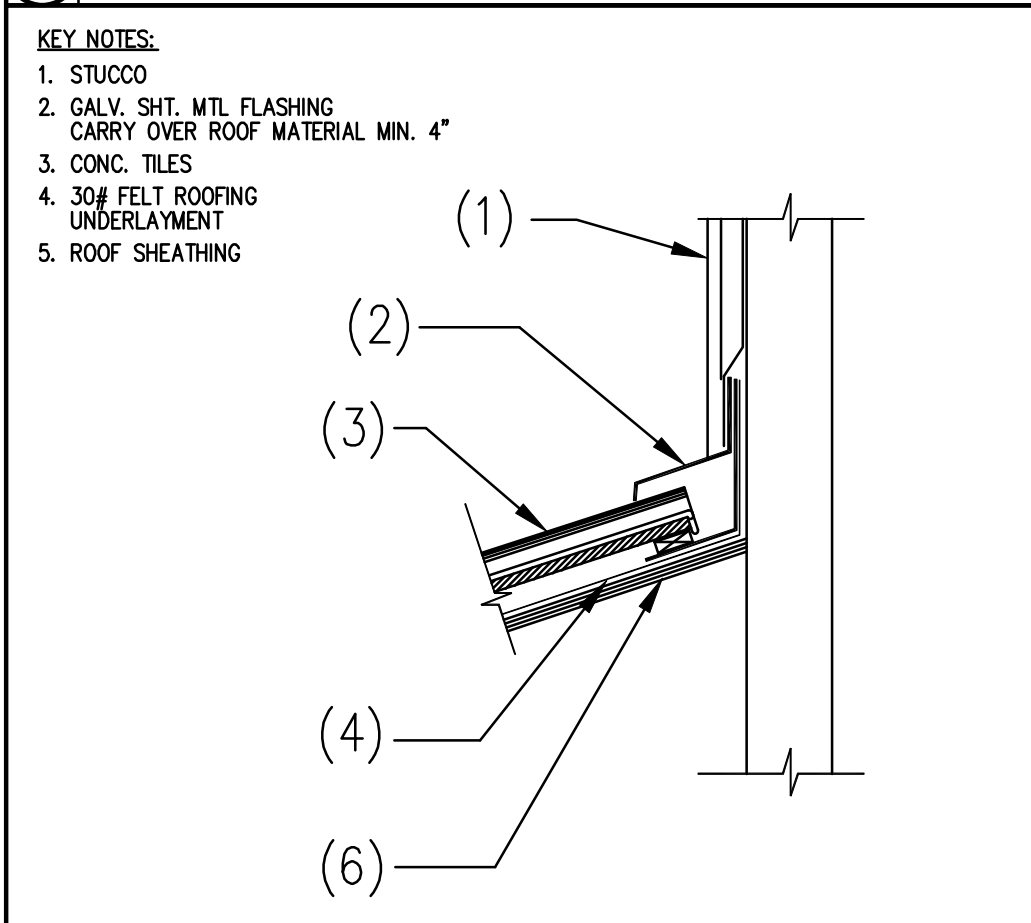


INTERIOR ELEVATIONS

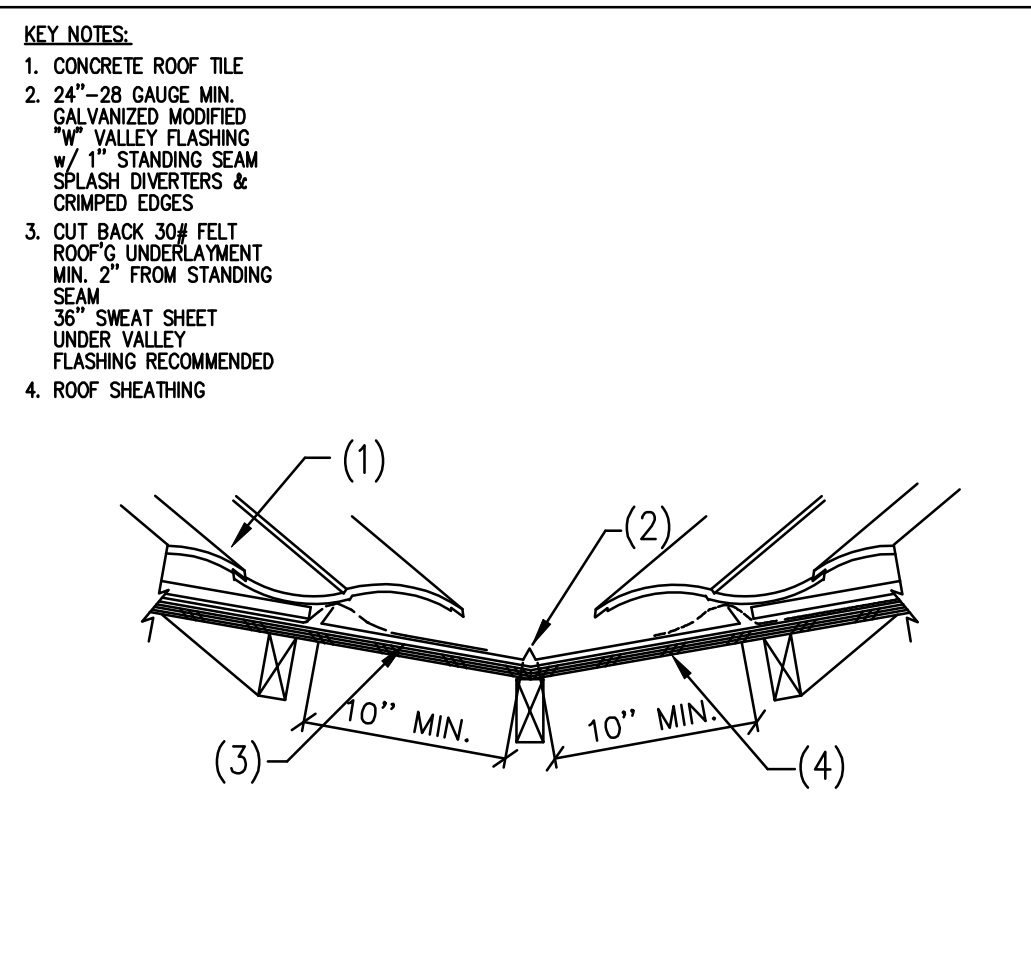
ORIGINAL DATE:
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SCALE:
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LIVABLE AREA:
4,618 SQ. FT.



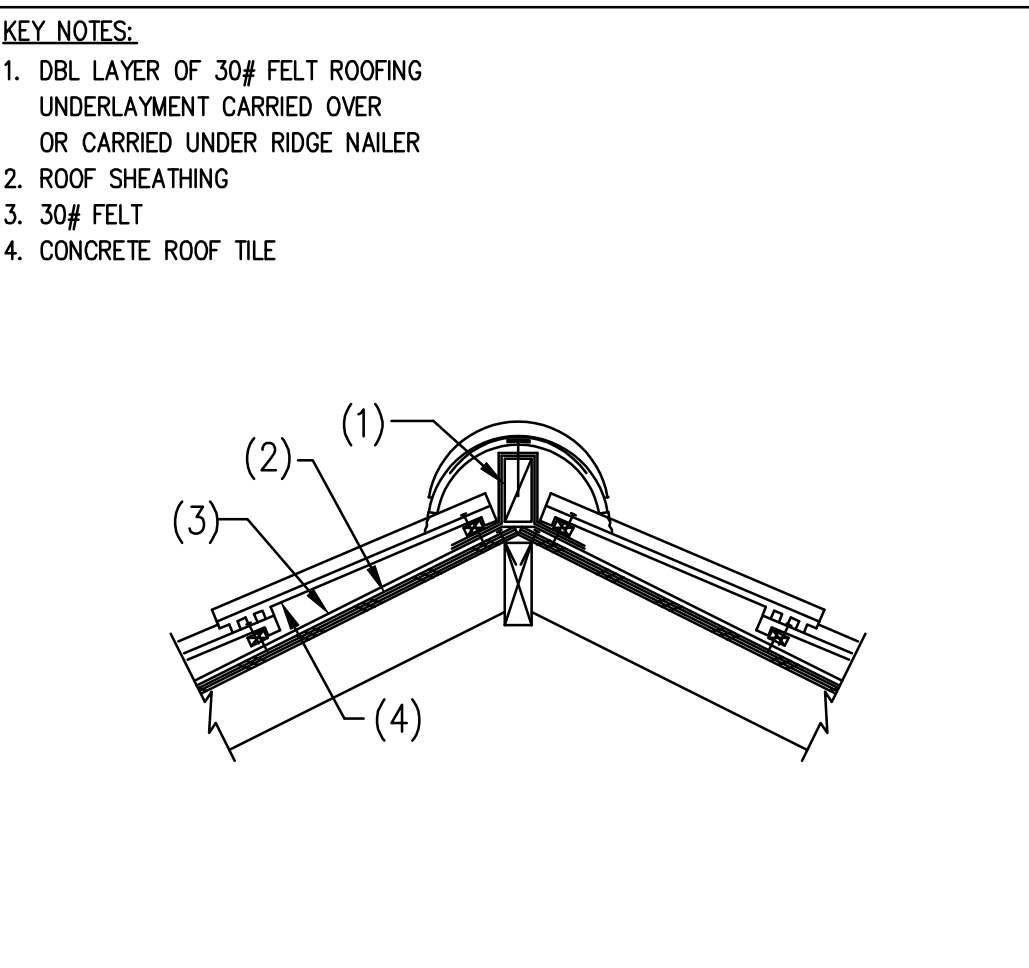
1 FIREPLACE B VENT DETAIL



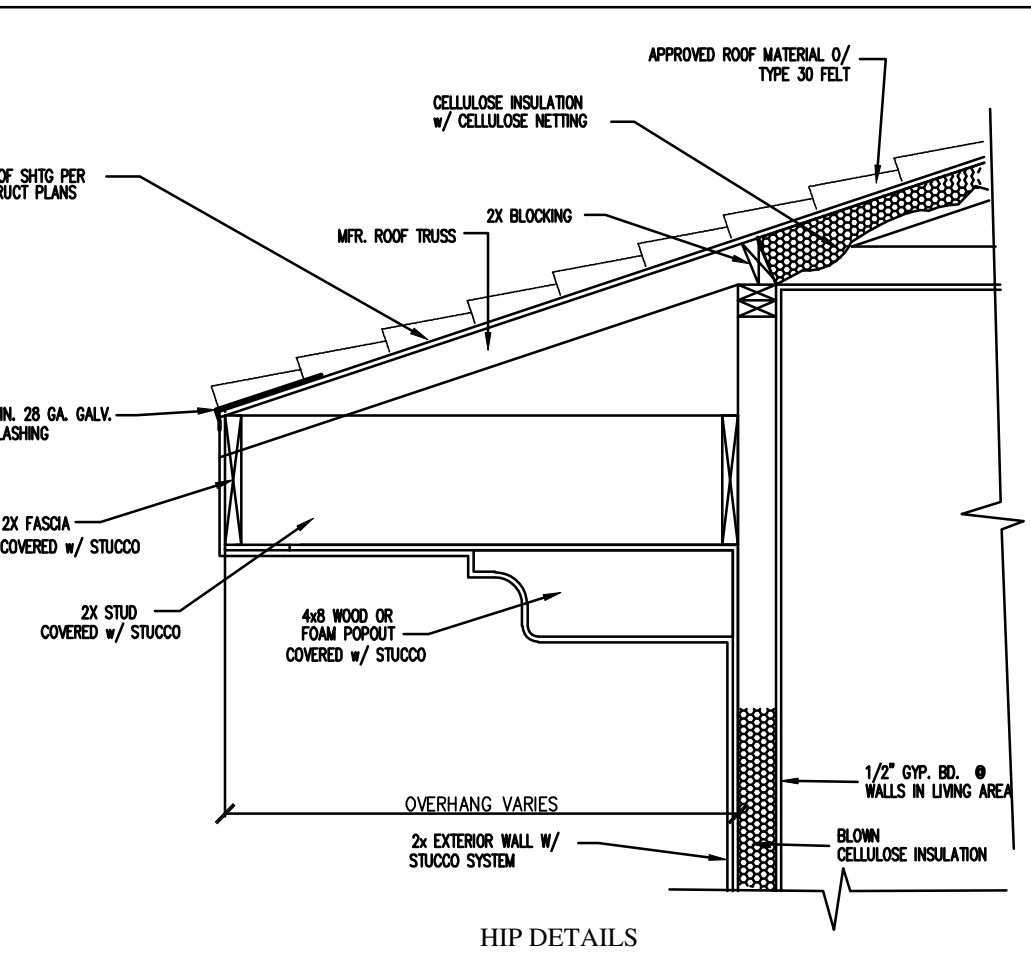
2 CONC. TILE-VALLEY FLASHING DETAIL



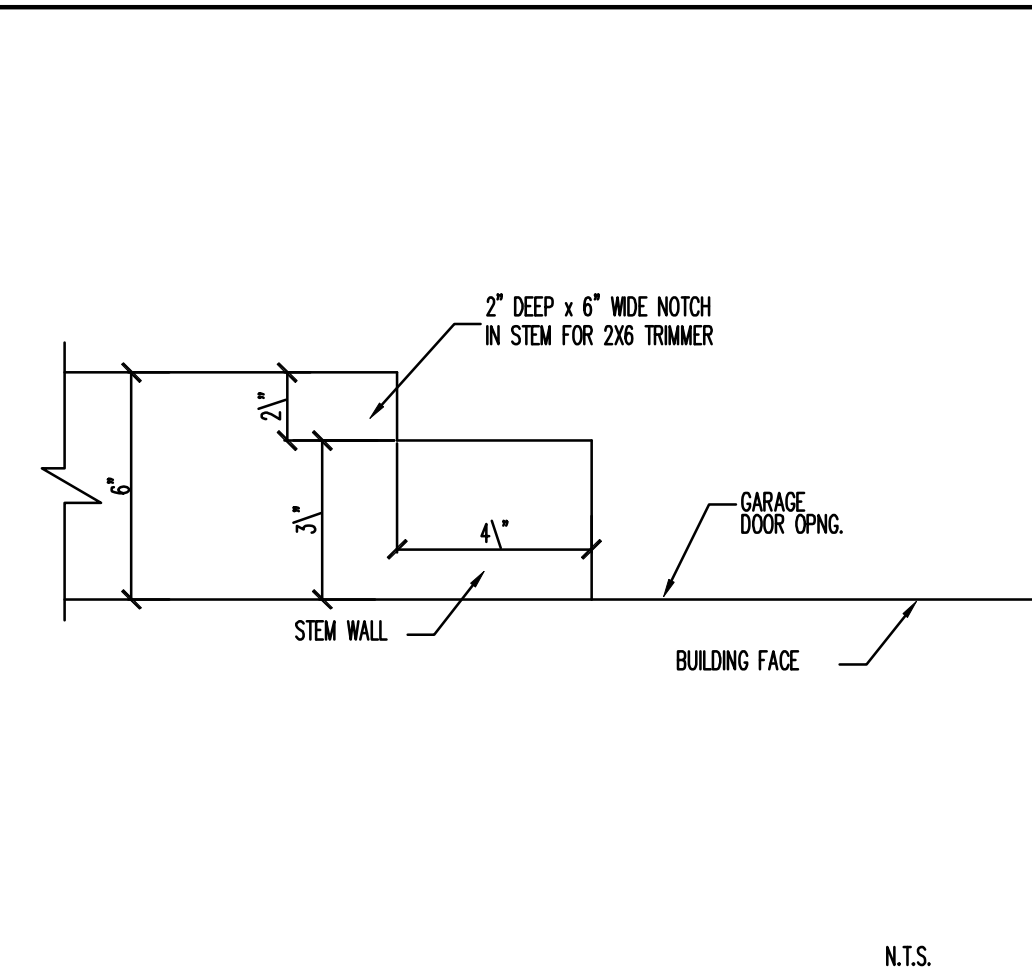
3 CONC. TILE-RIDGE FLASHING DETAIL



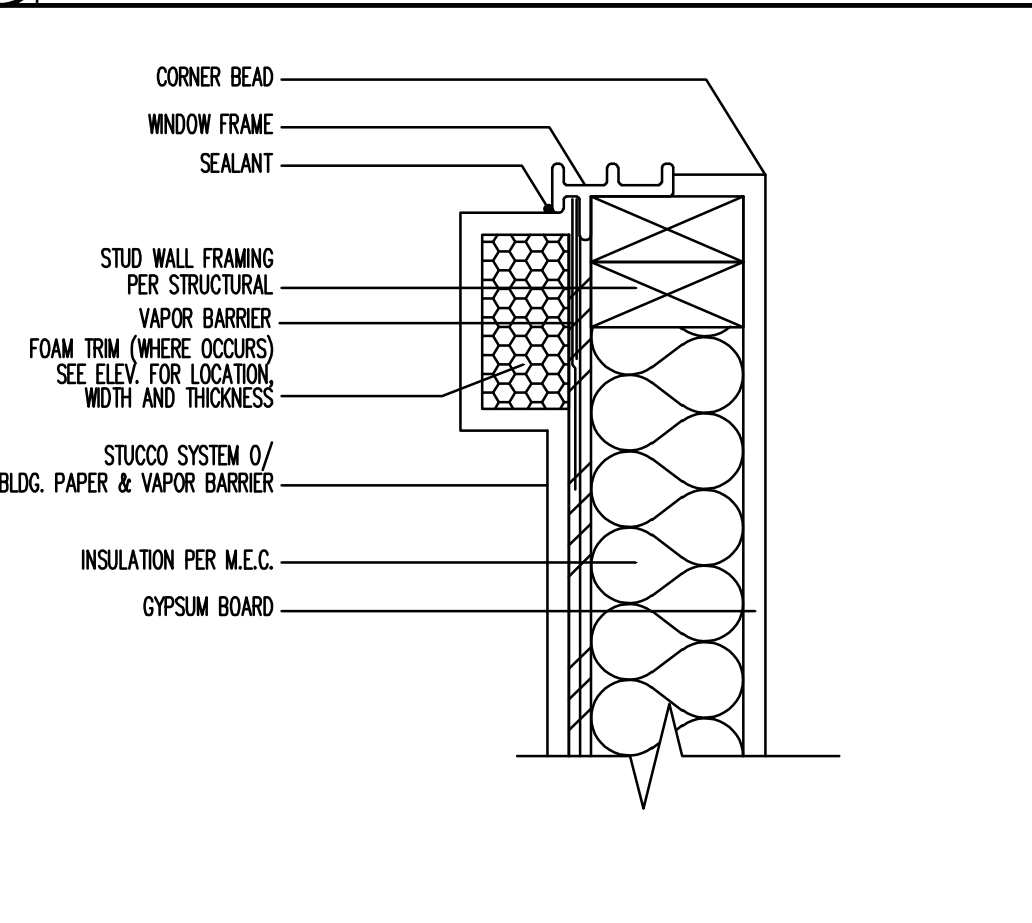
4 TYPICAL EAVE DETAILS



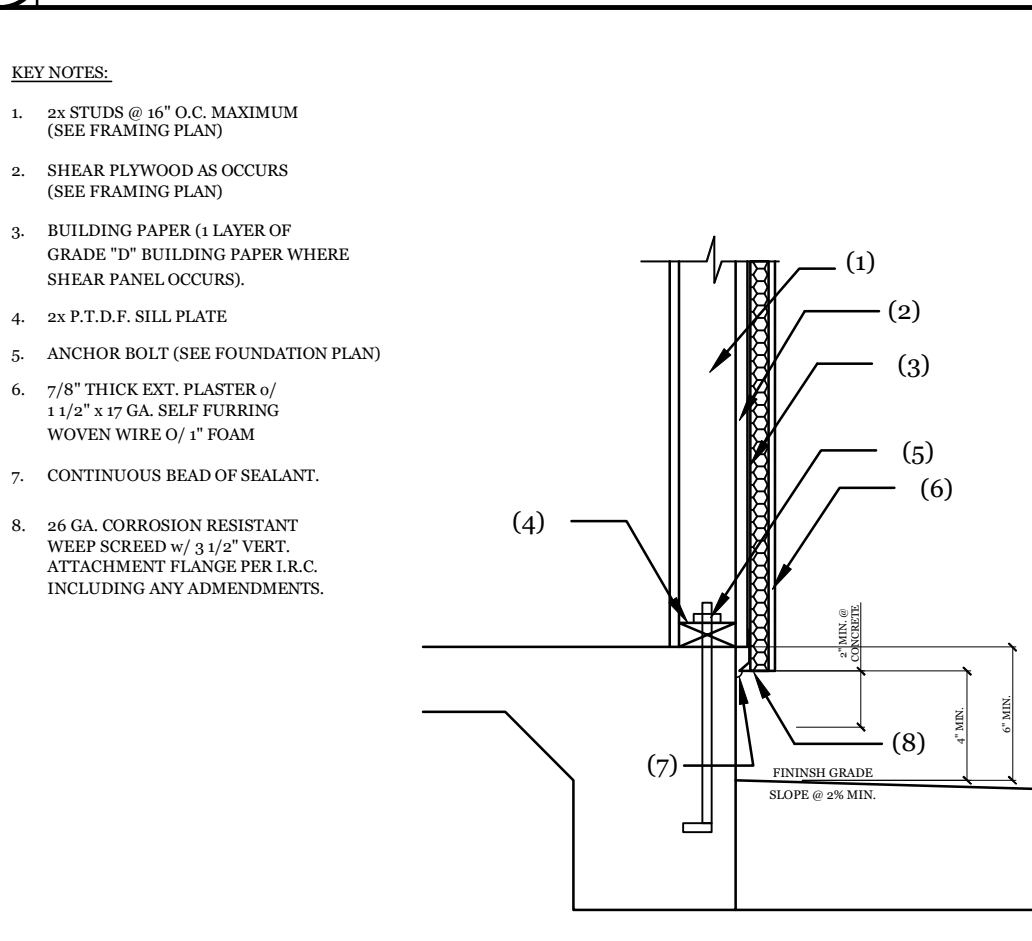
5 GARAGE DOOR JAMB @ STEM WALL



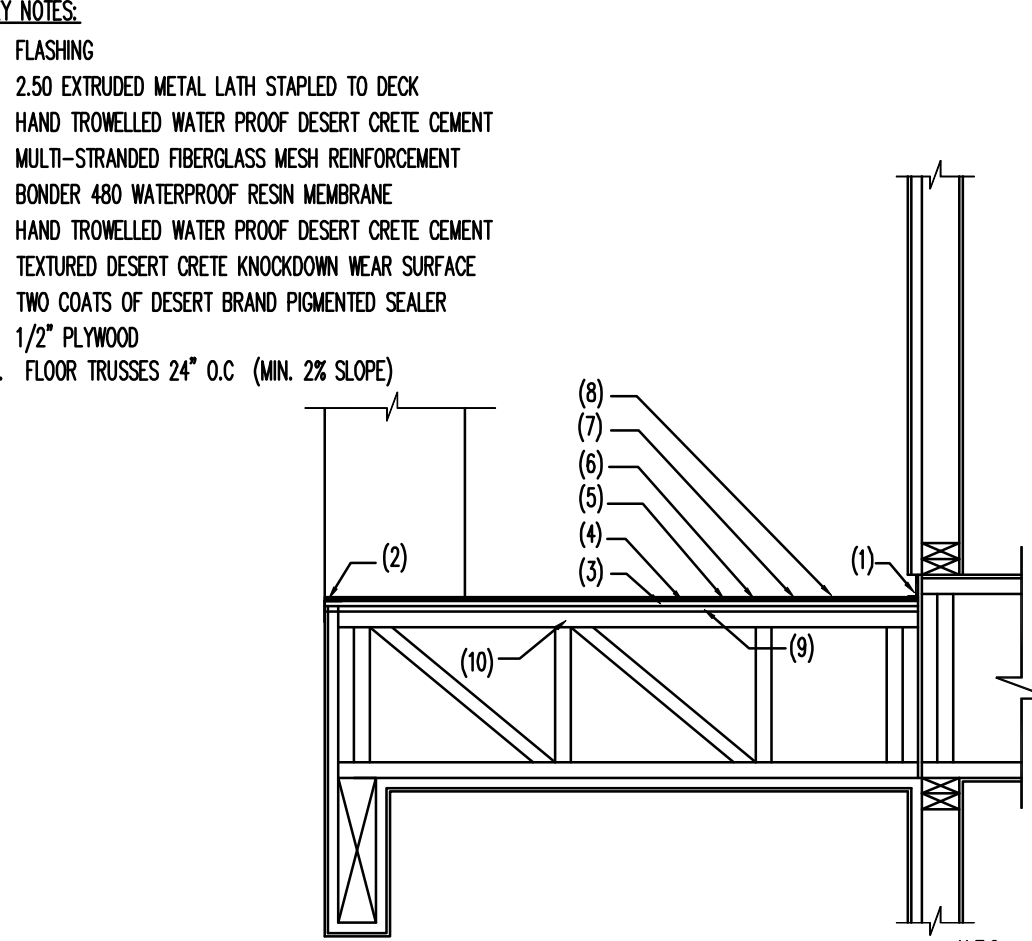
6 CONC. TILE-FLASHING @ WALL DETAIL



7 GARAGE FIREWALL @ LIVING AREA



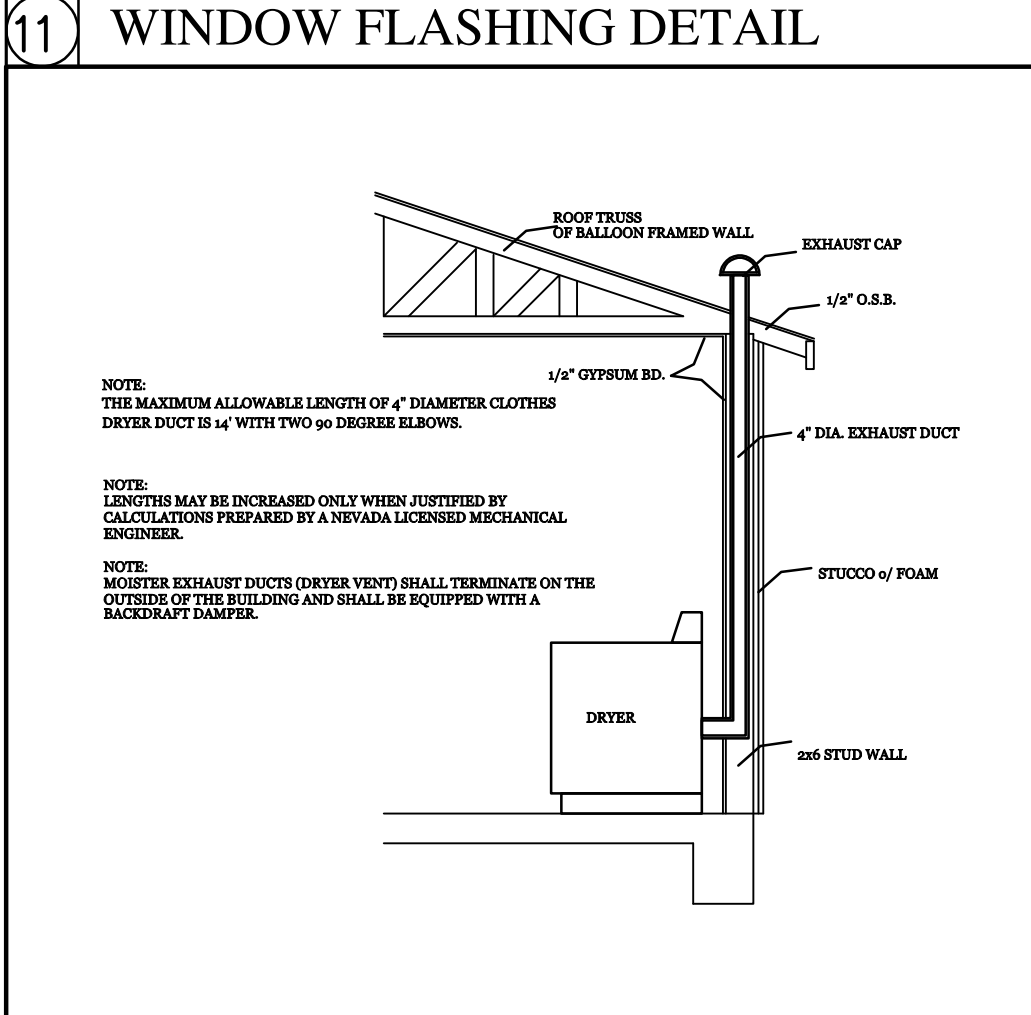
8 ATTIC ACCESS DETAILS



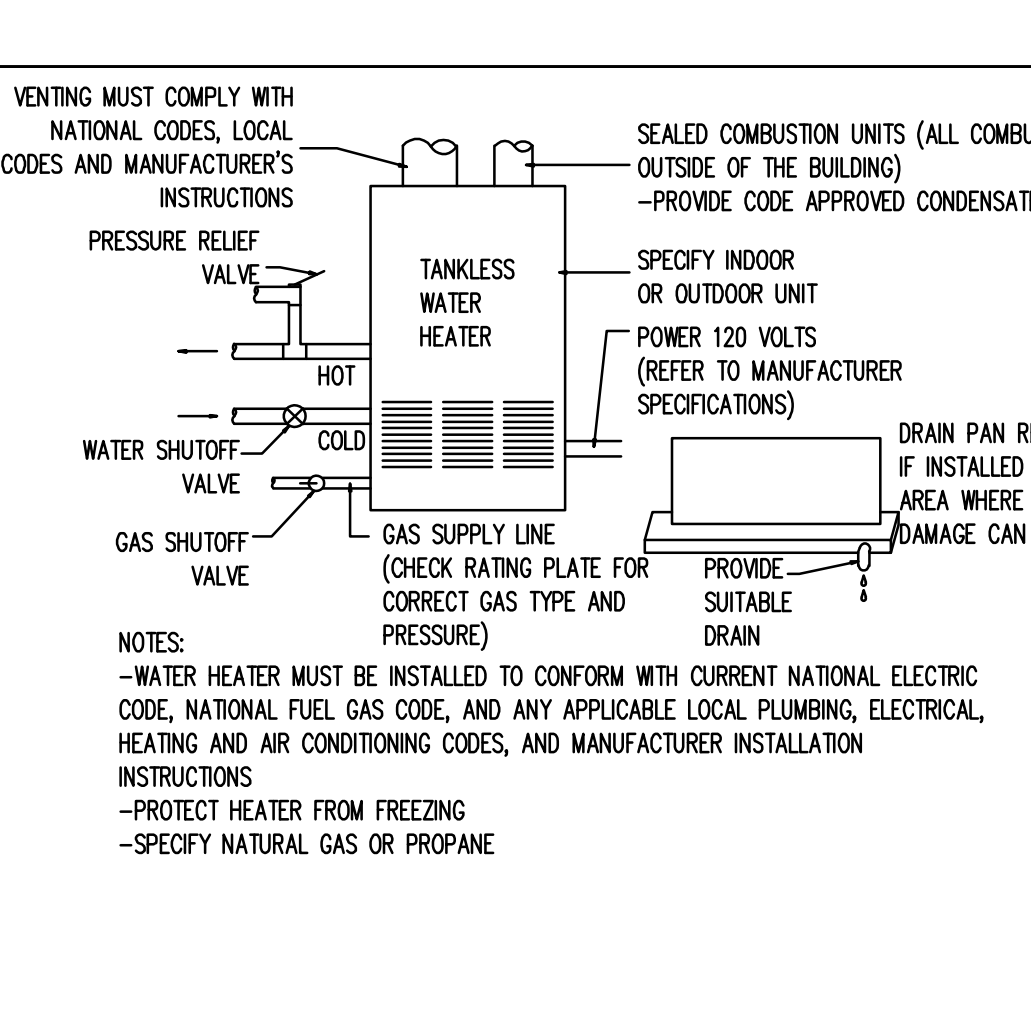
9 WINDOW HEADER AT 2x4 WALL



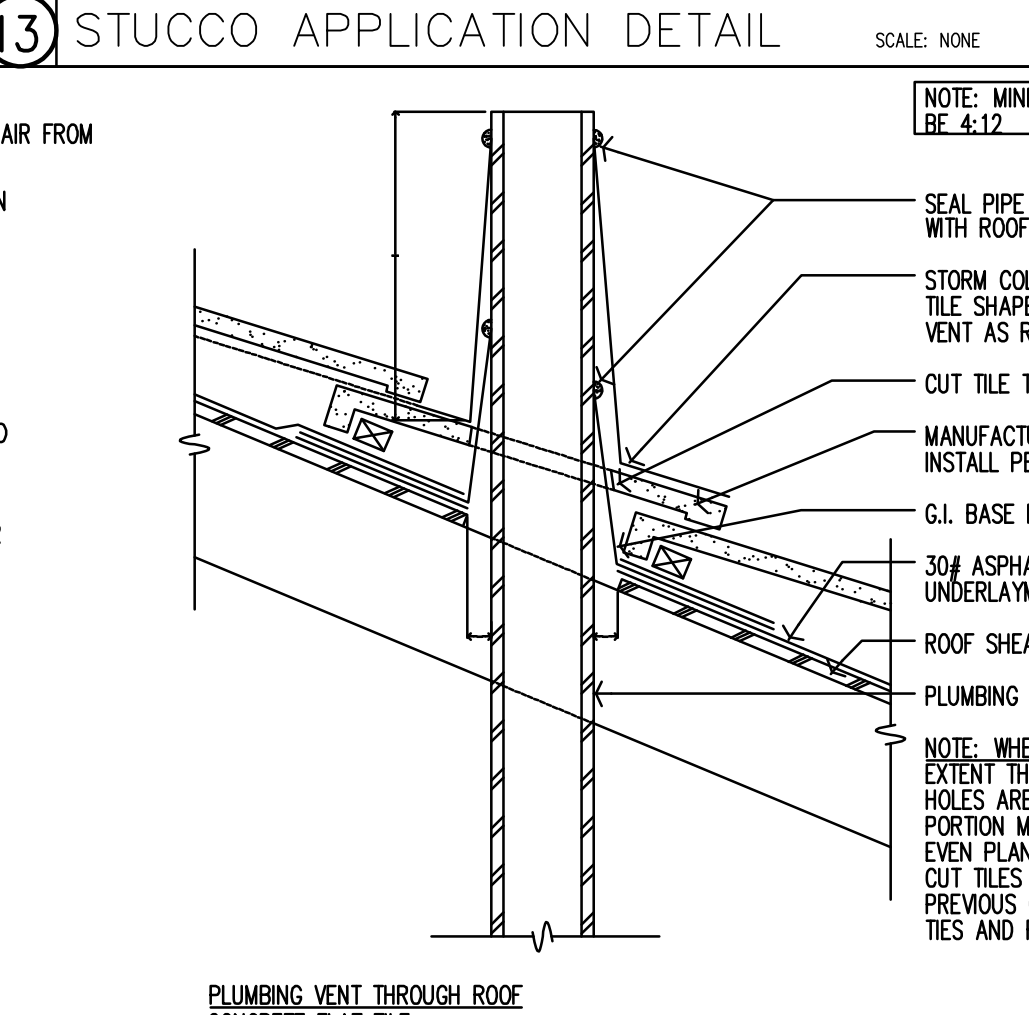
10 WINDOW SILL AT 2x4 WALL



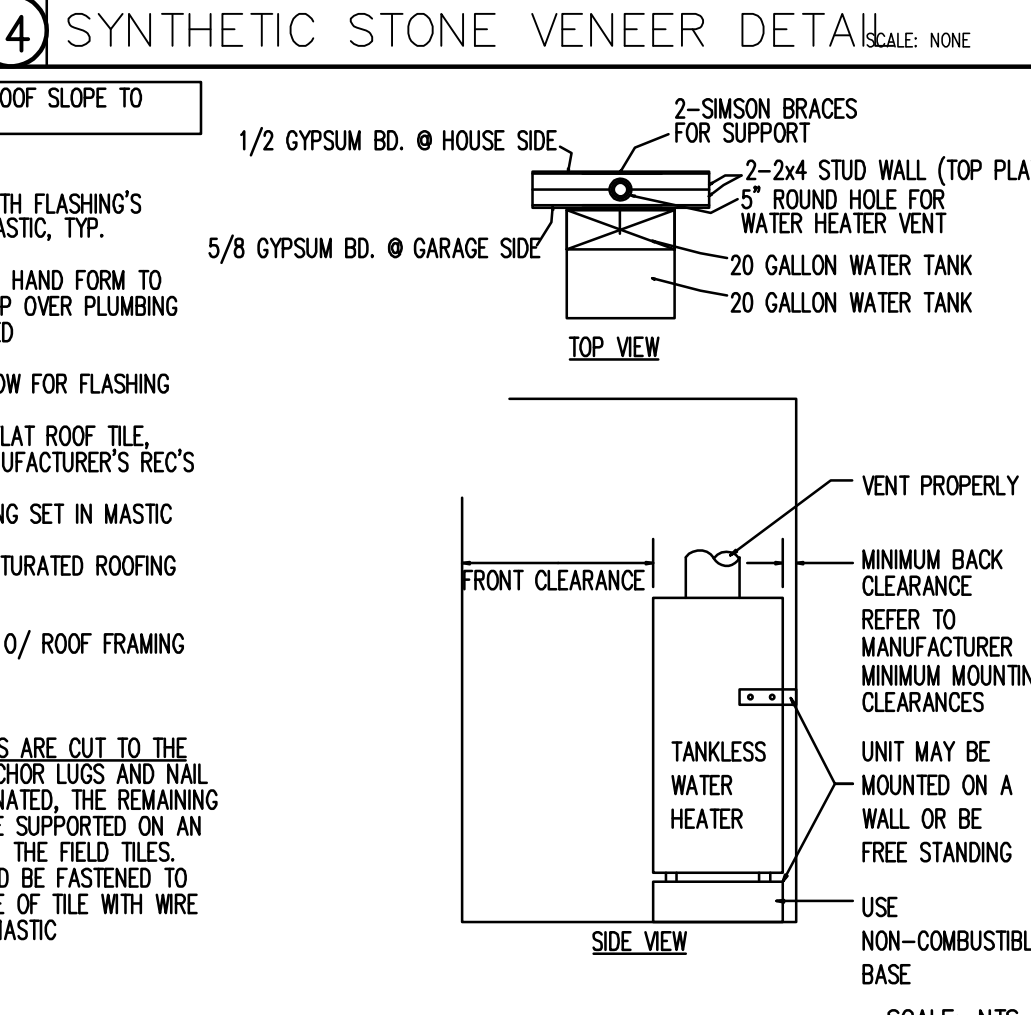
11 WINDOW FLASHING DETAIL



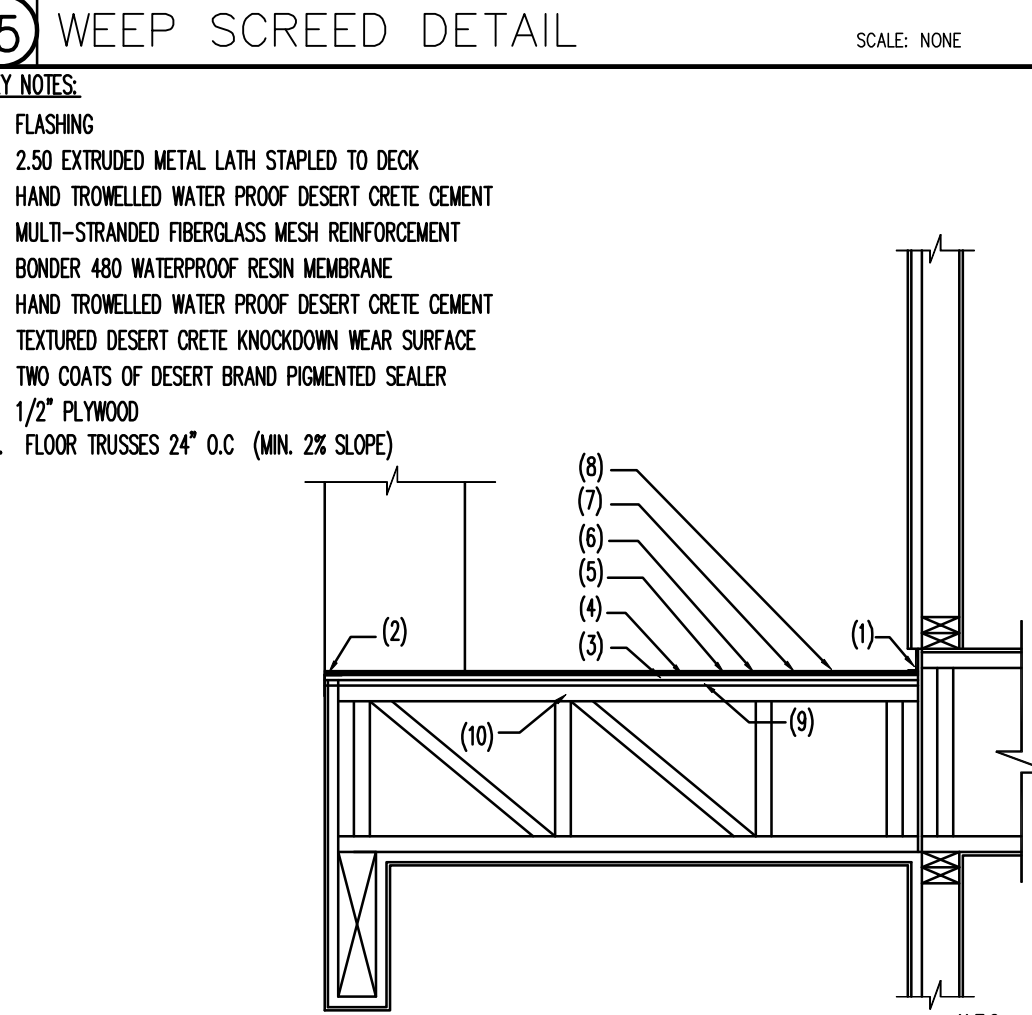
12 STUCCO APPLICATION DETAIL



13 SYNTHETIC STONE VENEER DETAIL



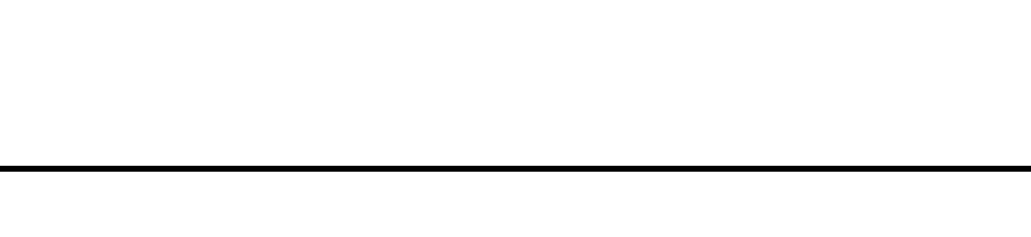
14 WEEP SCREED DETAIL



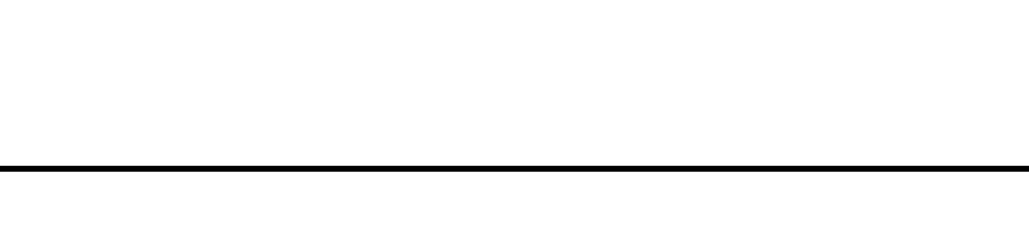
15 DECK FLOORING DETAIL



16 DRYER EXHAUST DUCT DETAIL



17 TANKLESS WATER HEATER DETAIL



18 PLUMBING VENT THROUGH ROOF CONCRETE FLAT TILE



19 SYNTHETIC STONE VENEER DETAIL



20 WEEP SCREED DETAIL

DETAILS

NO.	DATE
1	05/13/21
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NAME: G. REYNOLDS
DAVE G. REYNOLDS
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HENDERSON, NV. 89015
PHONE: (702) 499-3283
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PARCEL # 179-04-510-001

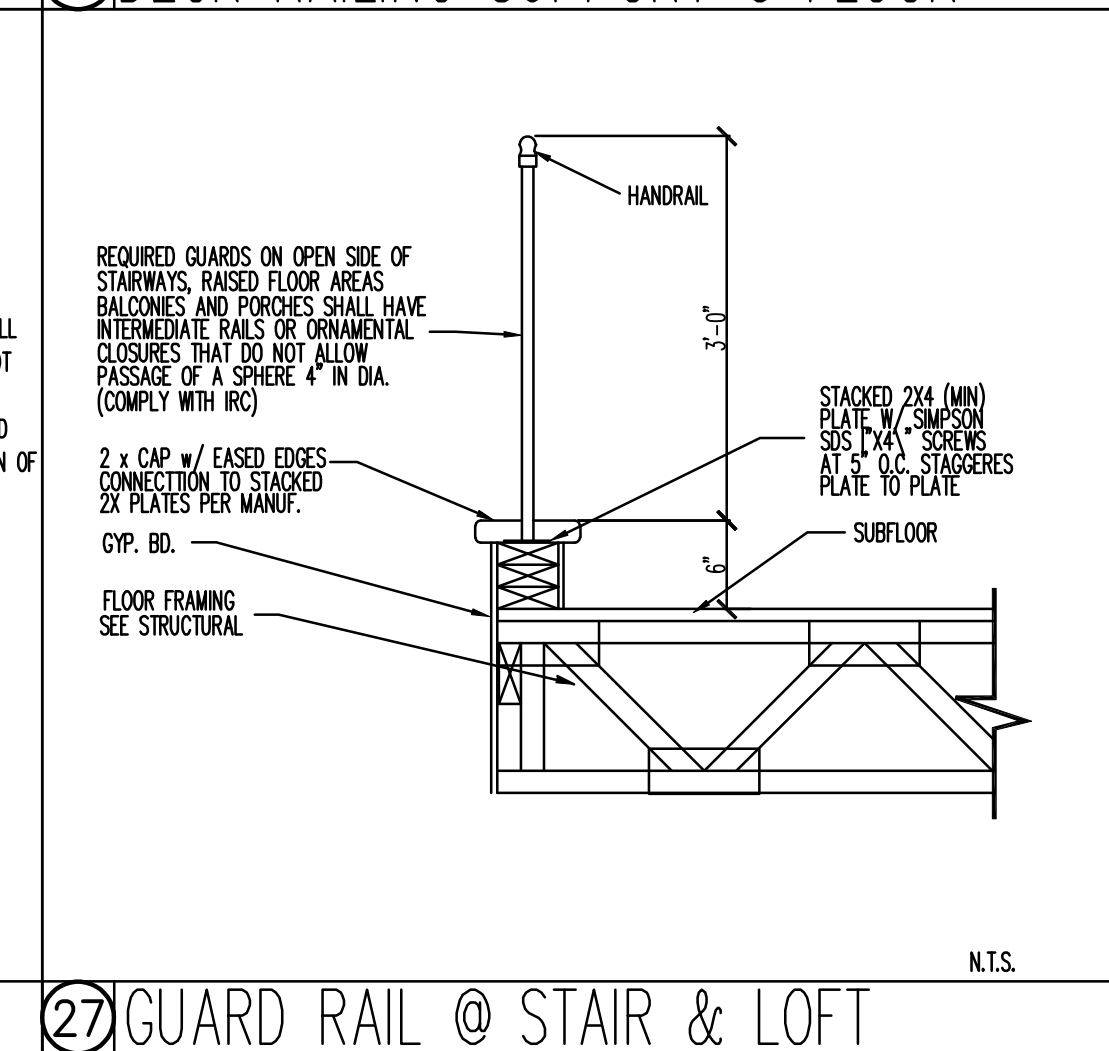
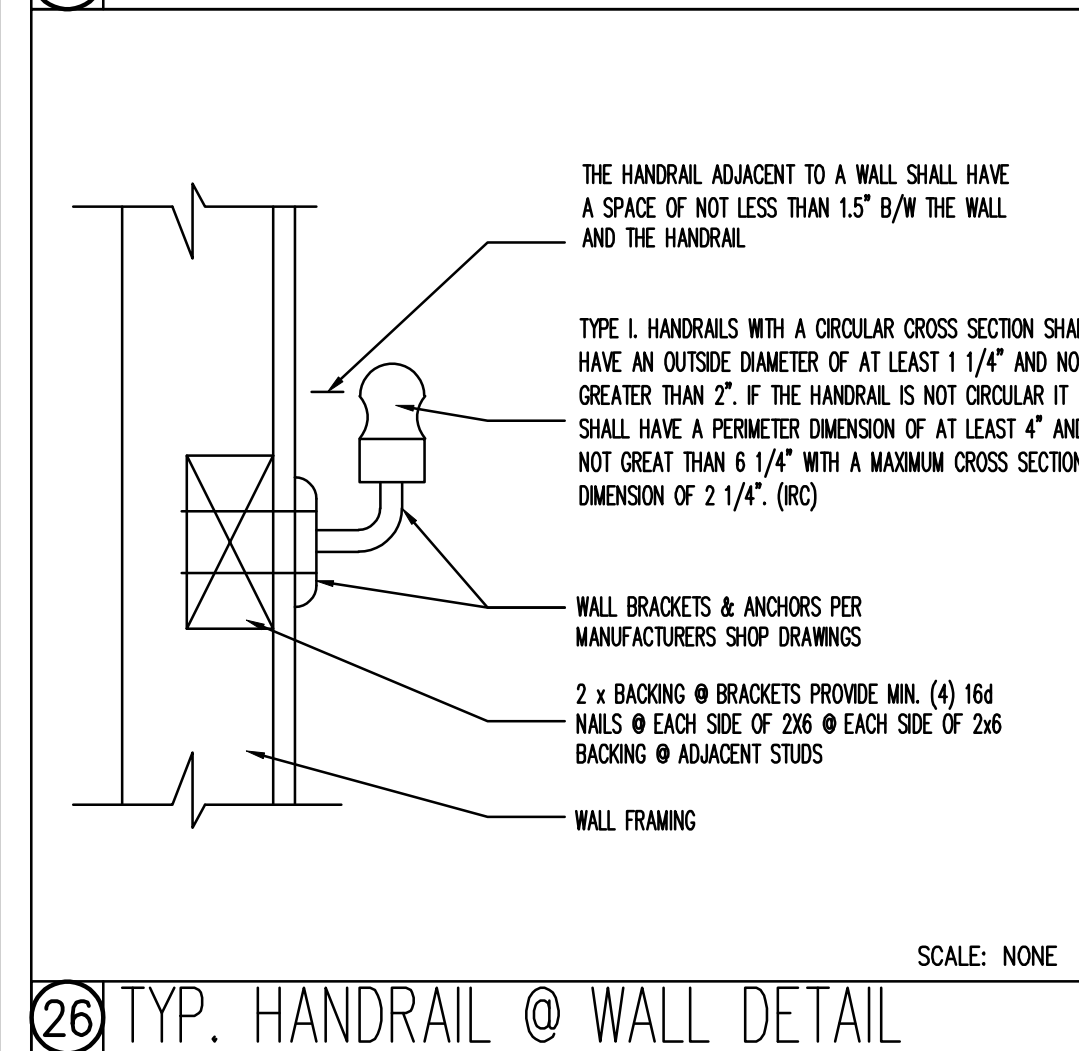
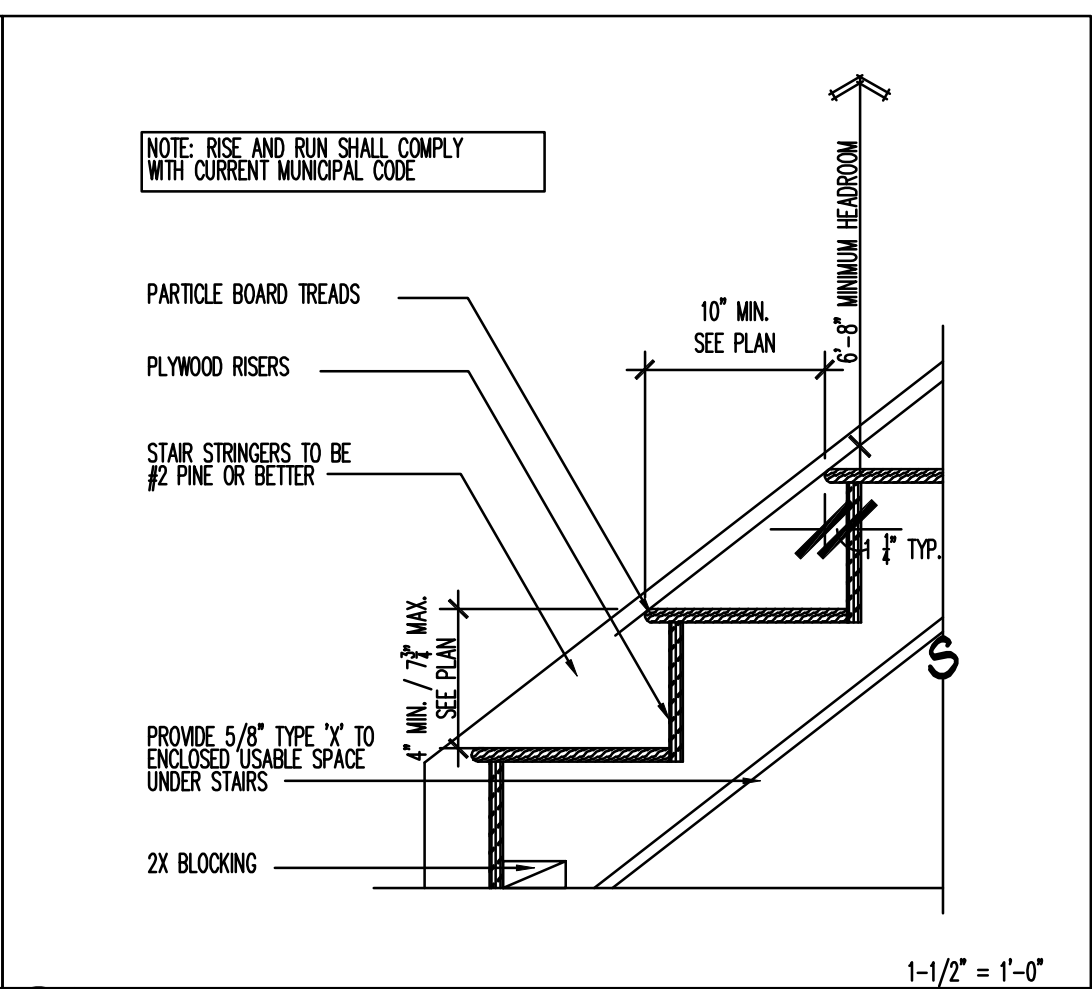
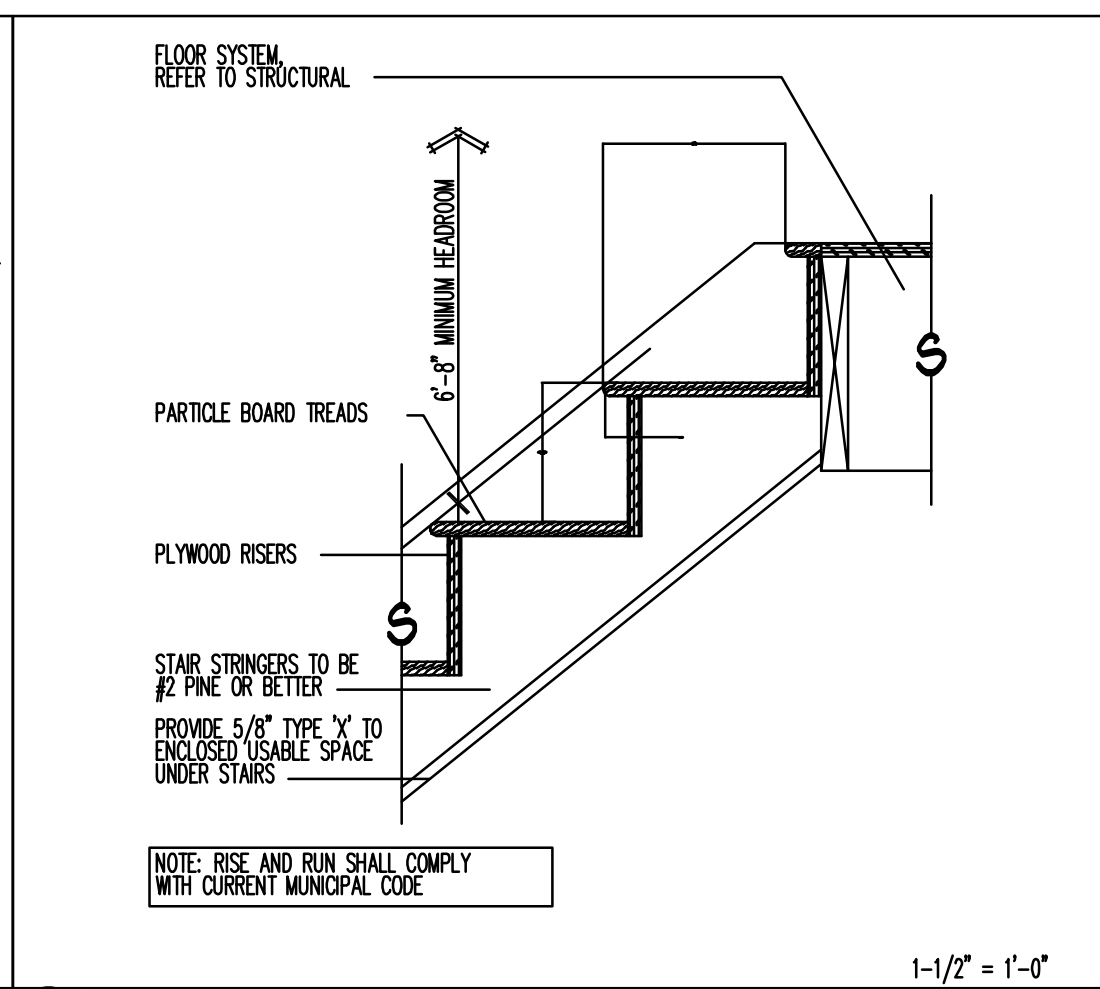
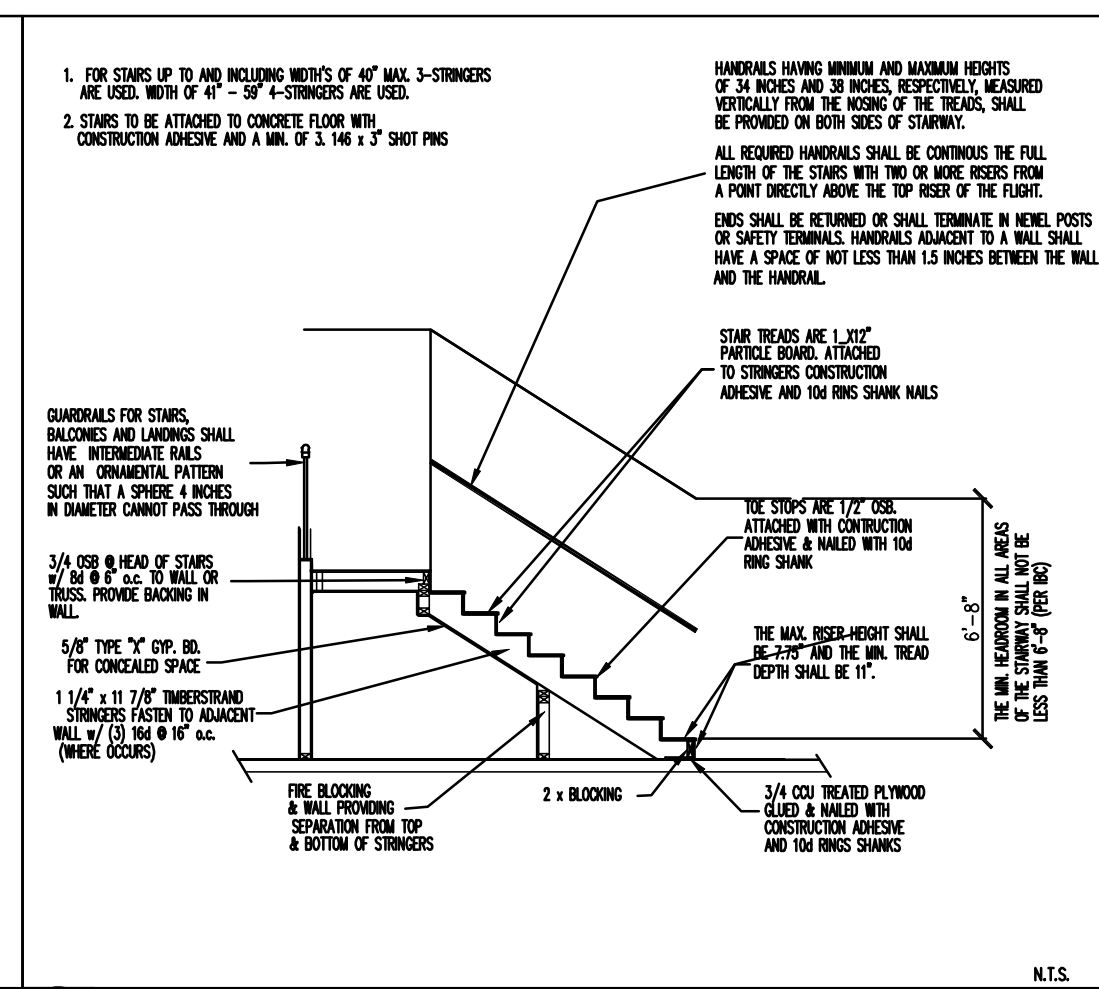
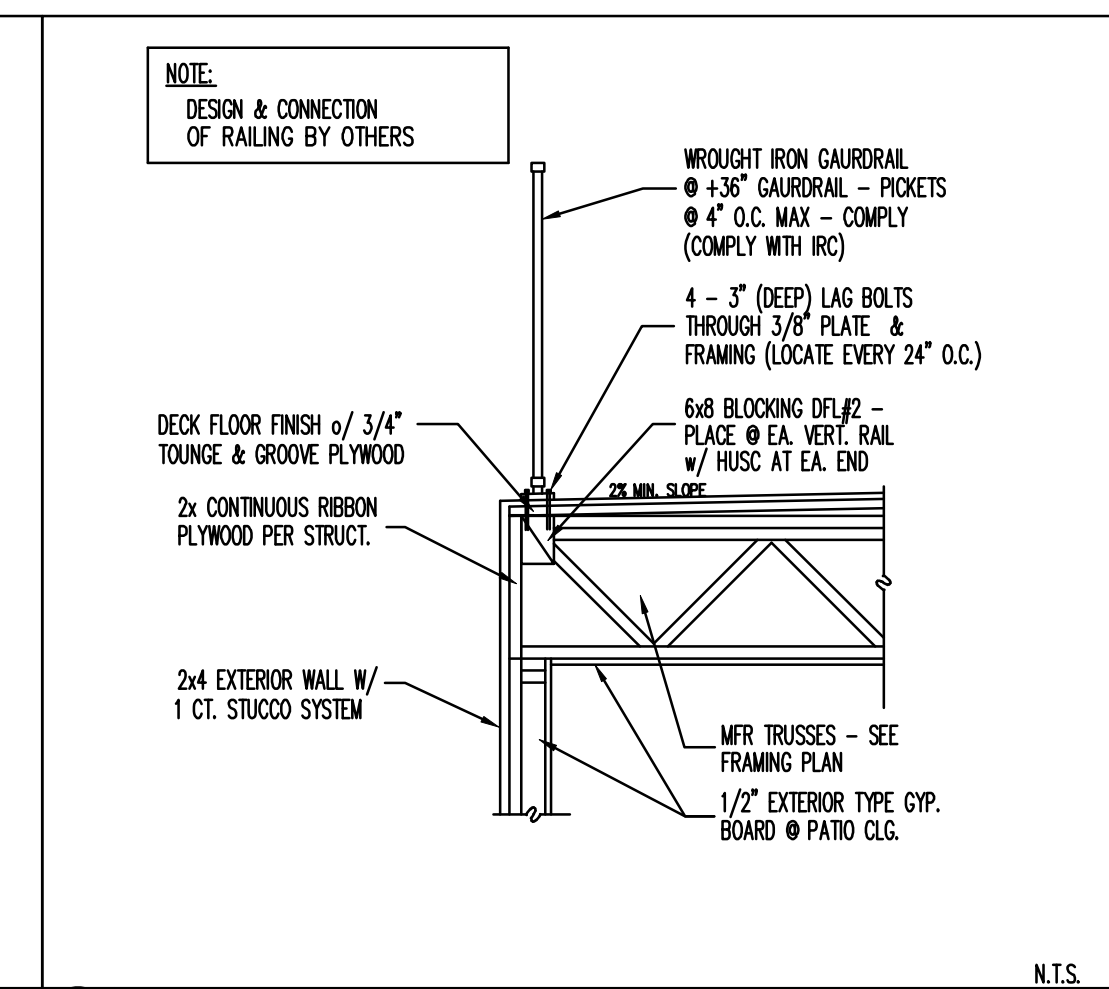
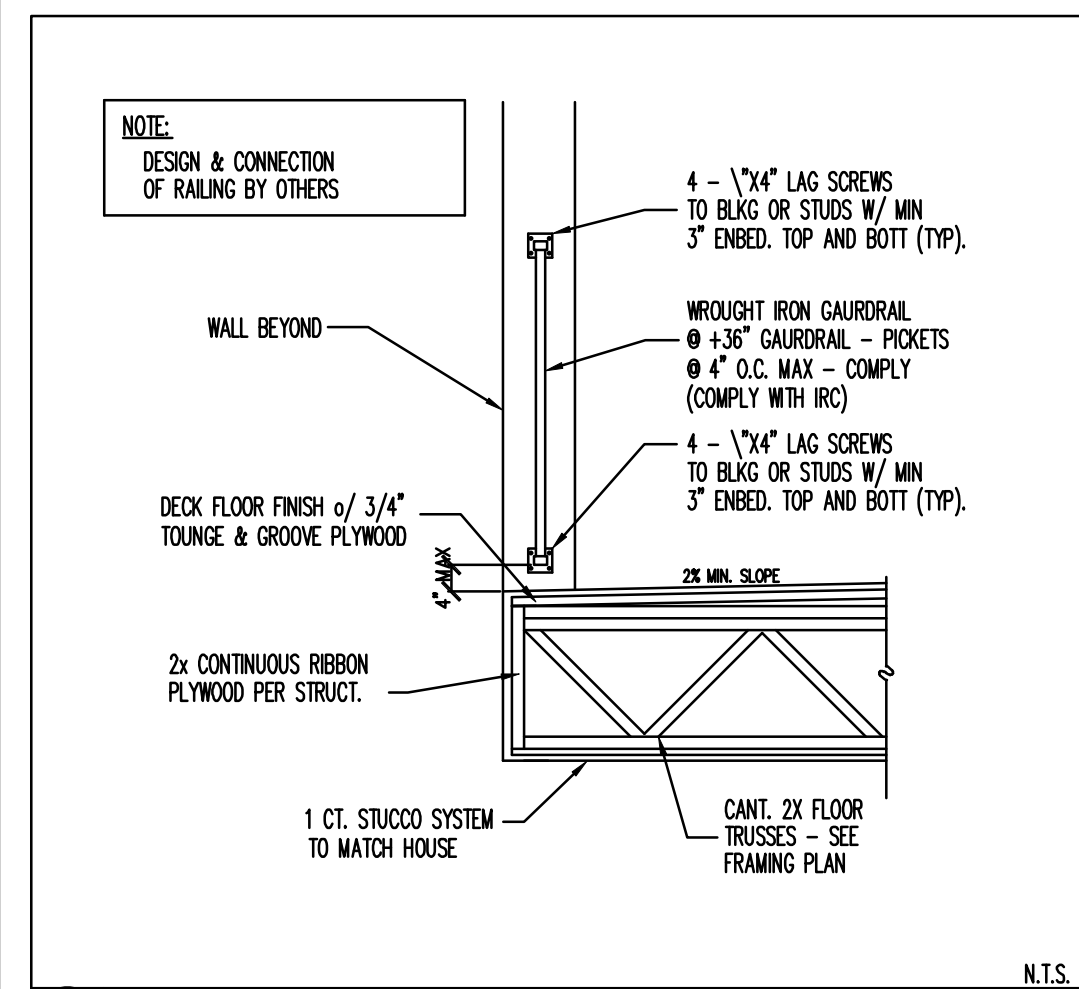
SIGNATURE

DATE



ORIGINAL DATE: 05/13/21
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D1.0

[illegible]

NAME:
DAVE G. REYNOLDS

PHONE:
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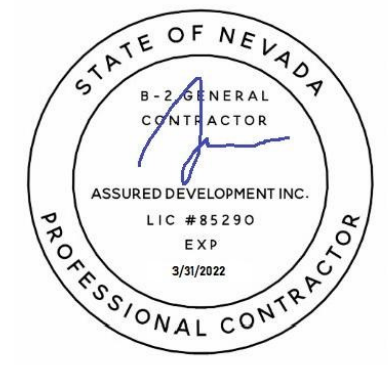
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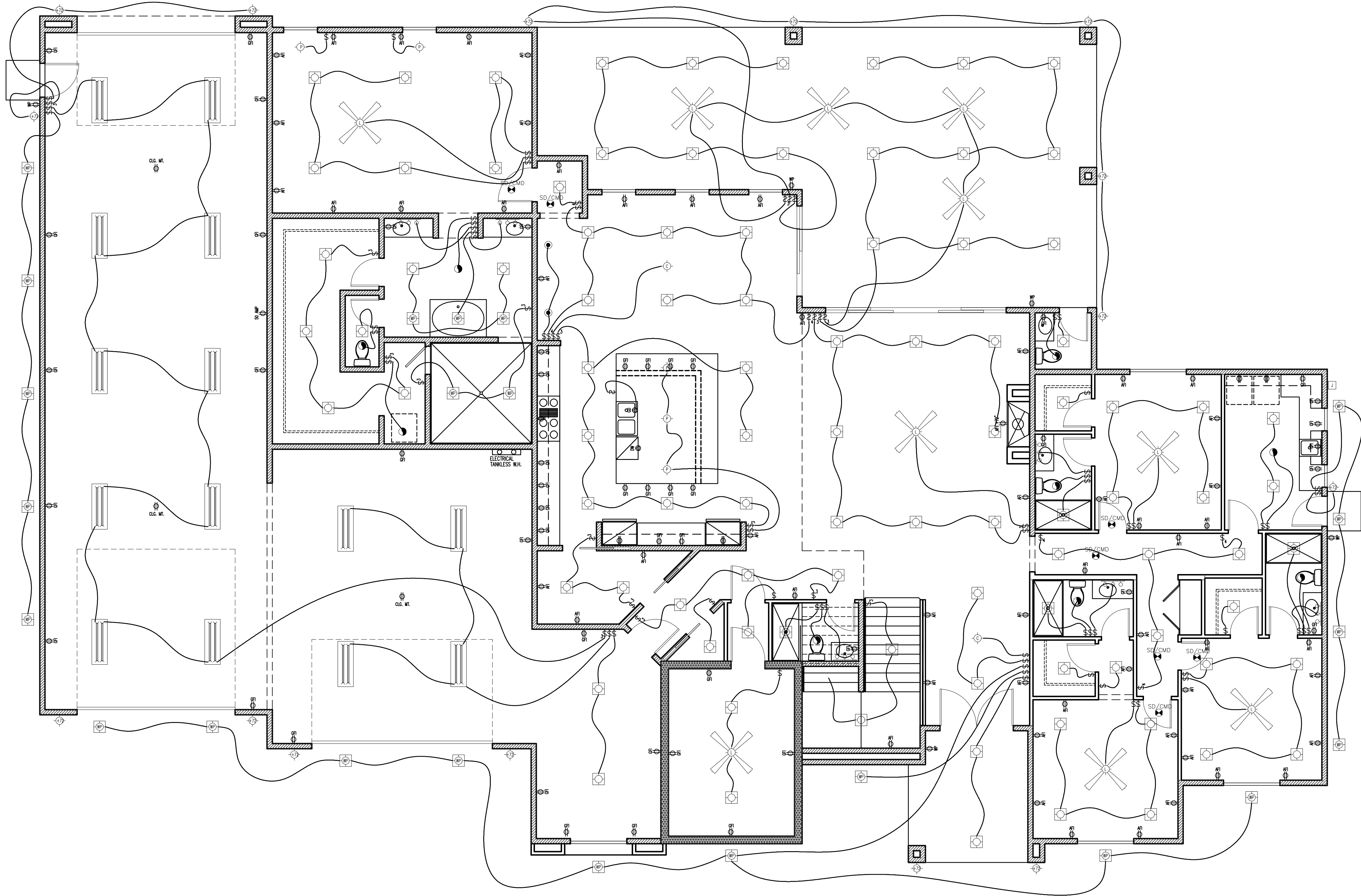


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D1.1



ELEC. FIXTURES SCHEDULE	
	110 VOLT DUPLEX OUTLET
	110 VOLT DUPLEX OUTLET PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER
	110 VOLT DUPLEX GROUND FAULT INTERRUPT OUT.
	220 VOLT OUTLET
	110 VOLT SPLIT WIRE DUPLEX OUTLET (1/2 HOT)
	110 VOLT WEATHER PROOF OUTLET
	DISHWASHER OUTLET
	GARBAGE DISPOSAL OUTLET
	CEILING LIGHT - CHANDELLER
	CEILING LIGHT - PENDANT
	CEILING LIGHT - FLUSH MOUNT
	WALL MOUNT SCONCE
	RECESSED CEILING 'CAN' LIGHT
	RECESSED CEILING 'CAN' LIGHT (4ft in all bedrooms & closets & bedrooms)
	RECESSED CEILING 'CAN' LIGHT (WATERPROOF)
	LOW VOLT PIN SPOT LIGHT
	RECESSED CEILING 'CAN' LIGHT (OPTIONAL)
	3 LIGHT BAR
	5 LIGHT BAR
	2 LIGHT 24" FLUORESCENT FIXTURE
	2 LIGHT 48" FLUORESCENT FIXTURE
	CEILING FAN WITH LIGHT
	CEILING FAN ONLY (NO LIGHT)
	CEILING EXHAUST FAN
	CEILING MOUNTED MULTI - SMOKE/CARBON MONOXIDE DETECTOR
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	FAN SWITCH
	TELEPHONE JACK WITH OR DATA LINE (CAT-5 OR CAT-6) SEE OWNER/BUILDER FOR LOCATION
	TELEVISION JACK (CABLE READY)
	THERMOSTAT
	GARAGE OPENER BUTTON
	GAS VALVE
	GARAGE DOOR SENSOR-LT
	GARAGE DOOR SENSOR-RT

NOTE: ALL RECEPTACLES SPECIFIED IN 210.52 THAT ARE NON-LOCKING SHALL BE TAMPER-RESISTANT RECEPTACLES NEC406.12.

NOTE: A MINIMUM OF 90% OF PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS 2018 EDC R404.1 2018 CODE.

NOTE: ALL 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEKS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (NEC ARTICLE 210.12(A)).

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Scale: 3/16" = 1'-0"

REVISIONS

NO.	DATE
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SITE ADDRESS:
744 N. NAPLES ST.
HENDERSON, NV. 89015

NAME:
DAVE G. REYNOLDS

PARCEL #
179-04-510-001

PHONE:
(702) 499-3283

MAILING ADDRESS:
431 HULL ST.
HENDERSON NV 89015

SIGNATURE

DATE

STATE OF NEVADA

REGISTERED ELECTRICAL CONTRACTOR

ASSURED DEVELOPMENT INC.

LIC #85280

EXP 3/31/2022

PROFESSIONAL CONTRACTOR

ELECTRICAL PLAN

(1ST FLOOR)

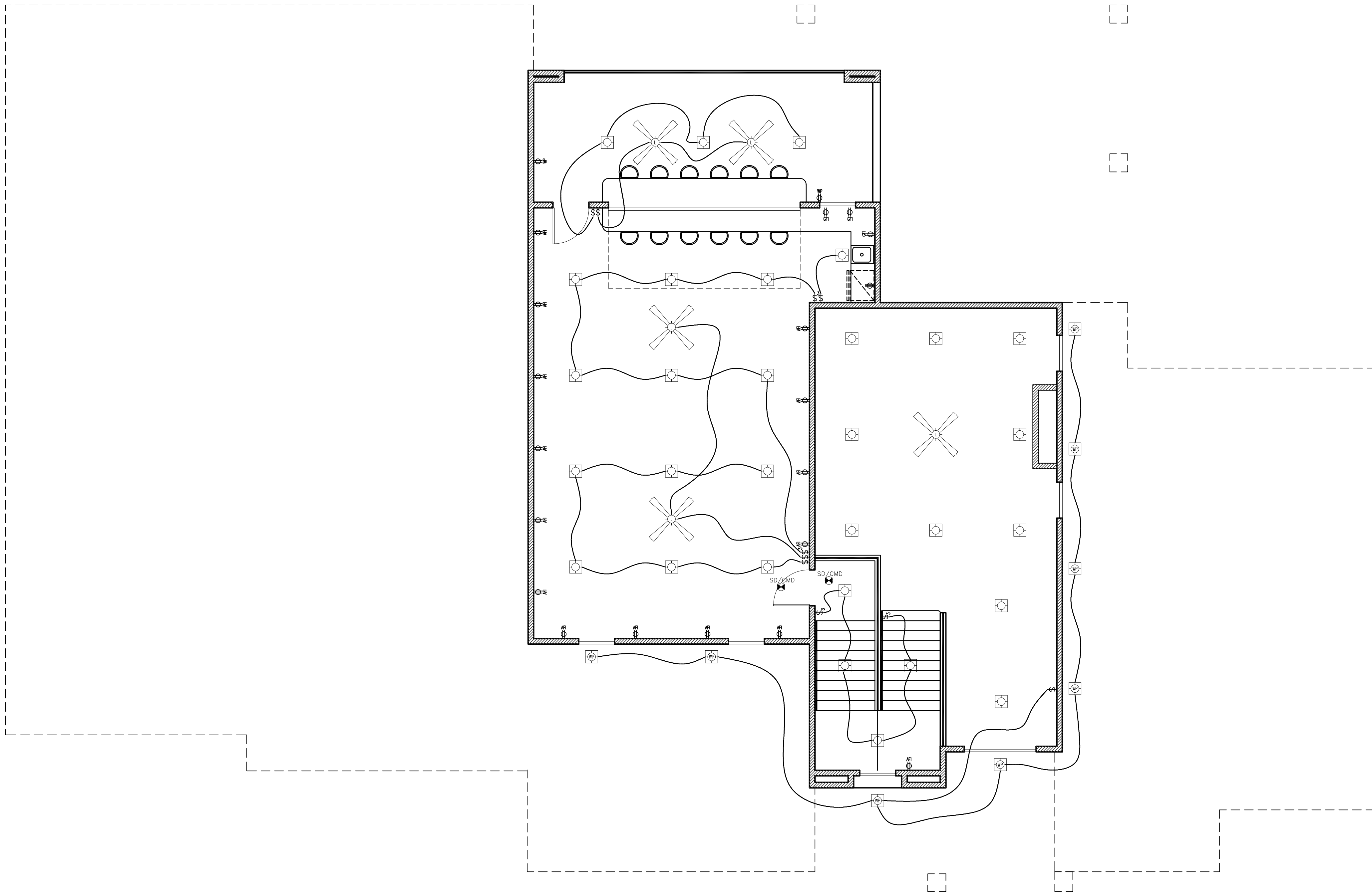
ORIGINAL DATE:
05/13/21

SCALE:
3/16" = 1'-0"

LIVABLE AREA:
4,618 SQ. FT.

E1.0

Scale: 3/16" = 1'-0"



ELEC. FIXTURES SCHEDULE	
	110 VOLT DUPLEX OUTLET
	110 VOLT DUPLEX OUTLET PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER
	110 VOLT DUPLEX GROUND FAULT INTERRUPT OUT.
	220 VOLT OUTLET
	110 VOLT SPLIT WIRE DUPLEX OUTLET (1/2 HOT)
	110 VOLT WEATHER PROOF OUTLET
	DISHWASHER OUTLET
	GARBAGE DISPOSAL OUTLET
	CEILING LIGHT - CHANDELLIER
	CEILING LIGHT - PENDANT
	CEILING LIGHT - FLUSH MOUNT
	WALL MOUNT SCONCE
	RECESSED CEILING "CAN" LIGHT
	RECESSED CEILING "CAN" LIGHT (4ft IN ALL BEDROOMS & CLOSETS & BEDRM)
	RECESSED CEILING "CAN" LIGHT (WATERPROOF)
	LOW VOLT PIN SPOT LIGHT
	RECESSED CEILING "CAN" LIGHT (OPTIONAL)
	3 LIGHT BAR
	5 LIGHT BAR
	2 LIGHT 24" FLOURESCENT FIXTR
	2 LIGHT 48" FLOURESCENT FIXTR
	CEILING FAN WITH LIGHT
	CEILING FAN ONLY (NO LIGHT)
	CEILING EXHAUST FAN
	CEILING MOUNTED MULTI - SMOKE/CARBON MONOXIDE DETECTOR
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	3-WAY DIMMER SWITCH
	4-WAY DIMMER SWITCH
	DIMMER SWITCH
	FAN SWITCH
	TELEPHONE JACK WITH OR DATA LINE (CAT-5 OR CAT-6) SEE OWNER/BUILDER FOR LOCATION
	TELEVISION JACK (CABLE READY)
	JUNCTION BOX
	THERMOSTAT
	ELECTRICAL PANEL
	GARAGE OPENER BUTTON
	GAS VALVE
	GARAGE DOOR SENSOR-LT
	GARAGE DOOR SENSOR-RT

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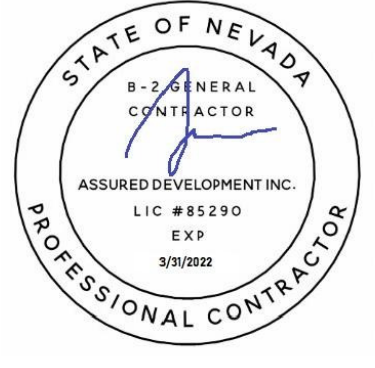
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PARCEL # 179-04-510-001

SIGNATURE

DATE



ELECTRICAL PLAN (2ND FLOOR)

ORIGINAL DATE:

05/13/21

SCALE:

3/16" = 1'-0"

LIVABLE AREA:

4,618 SQ. FT.

E2.0