HENDERSON, NV.

OCCUPANCY CLASSIFICATION: SINGLE FAMILY DWELLING

OWNER INFORMATION

ASSESSOR PARCEL NO.: 179-04-510-001

JOBSITE ADDRESS: 744 N. NAPLES ST., HENDERSON, NV., 89015

OWNER NAME: MILAN CUSTOMS LLC.

PROJECT NAME: REYNOLDS RESIDENCE

CONTRACTOR DECARATION

CONTRACTOR: ASSURED DEVELOPMENT

MAILING ADDRESS: P.O. BOX 530778

STATE: NEVADA CITY: HENDERSON ZIP: 89015

OCCUPANCY TYPE: R-3/U-1

CONSTRUCTION TYPE: V N

VICINITY MAP

LICENSE NUMBER:

SHEET INDEX

S.O : COVER SHEET, GEN. SPEC. & INFORM. AO.O: SITE PLAN A1.0: FLOOR PLAN (1ST FLOOR)

A1.1: FLOOR PLAN (2ND FLOOR) A2.0: EXTERIOR ELEVATIONS

A2.1: EXTERIOR FLEVATIONS - COLORS & MATERIALS

A3.0: ROOF LAYOUT A4.0: SECTION CUTS

A5.0: INTERIOR ELEVATIONS

D1.0: DETAILS

)1.1: DETAILS

1.0: ELECTRICAL PLAN (1ST FLOOR) E2.0: ELECTRICAL PLAN (2ND FLOOR)

M1.0: MECHANICAL CALCULATIONS

M2.0: MECHANICAL DESIGN

P1.0: PLUMBING DETAILS P2.0: PLUMBING DESIGN

P3.0: PLUMBING DESIGN P4.0: PLUMBING DESIGN

S1.0: SPECIFICATIONS

S2.0: SPECIFICATIONS S2.0: FOUNDATION PLAN

S3.0: ROOF FRAMING PLAN

S4.0: SHEARWALL PLAN

SD1.0: FOUNDATION DETAILS

SD2.0: ROOF FRAMING DETAILS

SD3.0: SHEARWALL DETAILS

: PLOT/GRADING PLAN

CODE REFERENCE

THESE SET OF DOCUMENTS ARE PREPARED IN ACCORDANCE WITH:

2018 INTERNATIONAL BUILDING CODE

2018 INTERNATIONAL RESIDENTIAL CODE

2018 UNIFORM MECHANICAL CODE 2018 UNIFORM PLUMBING CODE

2017 NATIONAL ELECTRICAL CODE

2018 INTERNATIONAL ENERGY CONSERVATION CODE

AND SOUTHERN NEVADA AMENDMENTS

GENERAL NOTES

- 1) THE DATA INDICATED ON THE DRAWINGS AND IN THESE SPECIFICATIONS ARE AS EXACT AS COULD BE SECURED, BUT THEIR ABSOLUTE ACCURACY IS NOT GUARANTEED. EXACT LOCATIONS, DISTANCES, LEVELS AND OTHER CONDITIONS WILL BE GOVERNED BY THE BUILDING. USE THE DRAWINGS AND SPECIFICATIONS FOR GUIDANCE AND SECURE THE OWNER'S APPROVAL OF ANY AND ALL CHANGES IN ADVANCE.
- 2) ALL WORK, MATERIALS, METHODS ETC. SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
- THE CONTRACTOR SHALL VISIT THE SITE & VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING WORK, ANY DISCREPANCIES SHALL BE REPORTED TO THE BUILDING OWNER.
- 4) THE CONTRACTOR OR SUBCONTRACTOR COVERING ANY OR ALL TRADES SHALL NOTIFY BUILDING OWNER OF ANY CONFLICT BETWEEN CONTRACT DRAWINGS AND SCOPE OF WORK PRIOR TO COMMENCING WORK.
- | 5) NO DEVIATIONS FROM THE CONTRACT DOCUMENTS OR SPECIFICATIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM DESIGNER.
- 6) MATERIALS TO BE USED SHALL BE OF FIRST QUALITY. ALL WORK SHALL BE PERFORMED BY SKILLED MECHANICS IN A WORKMANLIKE MANNER.
- 7) CLEAN, PATCH & REPAIR ALL SURFACES DAMAGED BY DEMOLITION OR ALTERATION OF WORK AS REQUIRED, INCLUDING EXISTING FIRE-RATED ASSEMBLIES.
- 8) CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND PROVIDING ALL BUILDING MATERIALS & FINISHES NOT SPECIFICALLY ADDRESSED IN PLANS.
- 9) WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE IN THE CONTRACT DOCUMENTS.
- 0) THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH AND FOR REMOVAL OF ALL DEBRIS FROM THE BUILDING PREMISES. BUILDING WASTE RECEPTACLES ARE NOT TO BE USED FOR CONSTRUCTION DEBRIS.
- 11) THE CONTRACTOR SHALL PICK UP AND PAY FOR ANY PERMITS NOT PROVIDED BY BUILDING OWNER.
- 12) ALL EXISTING WALLS SHALL BE REFINISHED AS NECESSARY FOR SPECIFIED NEW INTERIOR FINISH APPLICATIONS.
- 3) SOME OF THE FINISHES AND FIXTURES CONTAINED IN THIS DOCUMENT ARE ON EXTENDED LEAD TIME AND MAY REQUIRE SPECIAL COORDINATION AND ADVANCED ORDERING. SUBSTITUTIONS WILL NOT BE ALLOWED FOR MATERIALS NOT ORDERED IN A TIMELY FASHION.
- 4) CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL CASEWORK FOR REVIEW AND APPROVAL.

Note: Approved addresses shall be provided for all new buildings in such a position as to be plainly visible and legible from the street or road fronting the property. (PER IRC)

Note: Where ½ inch gypsum board is installed on ceilings framed at 24-inch on center and where a water-based textured finish is to be applied, or where it will be required to support insulation above a ceiling, the $\frac{1}{2}$ inch gypsum board shall be sag resistant ceiling board or increased to 5/8 inch gypsum board. (PER IRC)

Note: Cement, fiber—cement or glass mat gypsum backers in compliance with ASTM C 1288, C 1325 or C 1178 and installed in accordance with manufacturer's recommendations shall be used as backers for wall tile in tub and shower areas and wall panels in shower areas. (PER IRC) Note: Bathtub and shower floors and walls above bathtubs with installed shower heads and in shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor. (PER IRC)

Note: In every kitchen, family room, dining room, living room, parlor, library, den, sunroom, bedroom, recreation room, or similar room or area of dwelling units, receptacle outlets shall be installed in accordance with the general provisions specified in the following articles. Spacing NEC Article 210.52(A) (1), Wall Space NEC Article 210.52(A) (2) as amended & Floor Receptacles NEC Article 210.52(A) (3) as amended.

Note: The following fastened—in—place appliances are required to have a separate minimum 20-ampere circuit: dishwasher, trash compactor, microwave oven, range hood, clothes washer and hydro-massage bathtub. The clothes washer circuit may serve one (1) additional outlet in the laundry area. (PER NEC)

Note: Countertops in kitchen and dining rooms of dwelling units, receptacle outlets for counter spaces shall be installed in accordance with the following articles. Wall Counter Space NEC Article 210.52(C)(1), Island Counter Space NEC Article 210.52(C)(2) as amended, Peninsular

Counter Space NEC Article 210.52(C)(3) as amended, Separate Spaces NEC Article 210.52(C)(4) & Receptacle Outlet Locations NEC Article 210.52(C)(5). (NEC Article 210.52(A)) Note: In the kitchen, pantry, breakfast room, dining room, or similar area of a dwelling unit, the two or more 20-ampere small-appliance branch circuits required by 210.11(C)(1) shall serve all wall and floor receptacle outlets covered by 210.52(A), all countertop outlets covered by

210.52(C), and receptacle outlets for refrigeration equipment. (PER NEC) Note: All 120-volt, single phase, 15- and 20-ampere branch circuits supplying outlets in stalled in dwelling unit rooms shall be protected by a listed arc—fault circuit interrupter, combination type installed to provide protection of the branch circuit. (PER NEC)

Note: No more than (5) duplex receptacle outlets serving the required countertop receptacles shall be installed on any small appliance branch circuit. (PER NEC)

Note: The maximum number of outlets on a 20-ampere, 125-volt circuit used either exclusively for receptacles or exclusively for lighting fixtures or for any combination of receptacles and

lighting fixtures shall be 12. (See exceptions) (PER NEC) Note: Outlet boxes or outlet box systems used as the sole support of a ceiling—suspended (paddle) fan shall be listed, shall be marked by their manufacturer as suitable for this purpose, and shall not support ceiling—suspended (paddle) fans that weigh more than 32 kg (70 lb). For outlet boxes or outlet box systems designed to support ceiling—suspended (paddle) fans that weigh more than 16 kg (35 lb), the required marking shall include the maximum weight to be

supported. (PFR NFC) Note: Luminaires in clothes closets shall be installed in accordance with NEC.

Note: All luminaires (fixtures) installed in damp locations shall be marked, "Suitable for Wet Locations" or "Suitable for Damp Locations." (PER NEC)

Note: Water heaters shall be anchored or strapped to resist horizontal displacement due to earthquake motion. Strapping shall be at points within the upper one—third and lower one—third of its vertical dimensions. At the lower point, a minimum distance of four inches shall be maintained above the controls with the strapping. (PER UPC)

Note: Water heaters are required to have a heat trap. Exception: if the trap is integral to the water heater or if part of hot water circulating system. (PER IECC) Note: All building water supply systems in which quick—acting valves are installed shall be

provided with devices to absorb the hammer caused by high pressures resulting from the quick closing of valves. (i.e. dishwashers, washing machines) (PER UPC) Note: Where applicable, special venting for island fixtures shall comply with UPC.

Note: Where a sediment trap is required by code, such as at gas water heaters and furnaces, and is not incorporated as a part of the gas utilization equipment, a sediment trap shall be installed as close to the inlet of the equipment as practical at the time of the equipment

Note: Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of minimum No. 26 gage sheet steel or other approved material and shall have no openings into the garage. (PER IRC) Note: When a cooling coil or cooling unit is located in an attic or furred space where damage

may result from condensate overflow, a secondary drain shall be provided. (PER UMC) Note: The moisture exhaust duct for the domestic clothes dryer shall terminates on the outside of the building and be equipped with a back—draft damper. Screens shall not be installed at the duct termination. The duct should be a minimum 4 inches diameter with a maximum run of 14 feet, including two 90-degree elbows. (PER UMC)

Exception: When exhaust ducts terminate on a roof, backdraft dampers are not required

ABBREVIATIONS

LABORATOR'
LAMINATE
LAVATORY
LOW POINT
LIGHT ANCHOR BOLT
ASPHALT CONCRETE
AIR CONDITIONING
ACOUSTIC CELING TILE
ACOUSTICAL
AREA DRAIN
AMERICANS WITH DISABILITIES ACT
ADJACENT OR ADJUSTABLE
ABOVE FINISHED FLOOR
AGGRECATE
AIR HANDLING UNIT
ALJUMINUM
APPROXIMATE
ARCHITECTURAL
ASPHALT
AUTOMATIC SPRINKLER RISER

BACK OF CILIED MAXIMUM
MEDICINE CABINET
MECHANICAL
MEMBRANE
METAL
MANUFACTURER
MANHOLE
MINIMUM
MIRROR
MISCELLANEOUS
METAL LATH
MASONRY OPENING
MOUNTED
MULLION BACK OF CURB BOARD BITUMINOUS BUILDING BLOCK BLOCKING BEAM BOTTOM BUILT-UP ROOFING NORTH
NEW
NOT APPLICABLE
NOT IN CONTRACT
NUMBER
NOMINAL
NOT TO SCALE BOT.
BOT.
BUIT.—UP ROOFING

CAB.
CABINET
CB.
CATCH BASIN
CEM.
CEMENT
CEMENT
CEM.
CAST-IN-PLACE
CJ.
CAS OVER ALL
OBSCURE
ON CENTER
OUTSIDE DIAMETER OR OUTSIDE
DIMENSION OR OVERFLOW DRAIN
OWNER FURNISHEDCONTRACTOR INSTALLED
OFFICE OFFICE
OWNER FURNISHED-OWNER INSTALL
OVERHEAD
OPENING
OPPOSITE
OVERFLOW SCUPPER POLE
PANEL
PERENDICULAR
PRE-FABRICATED INSULATED P/
POUR JOINT
PLATE
PROPERTY LINE
PLASTIC LAMINATE
PLASTER
PLUMBING
PLYWOOD
PAINT
PAIR
PRECAST
POINT
PAINTED
PAYEMENT
QUARRY TILE Q1. QUARRY TILE

R. RISER

RA. RETURN AIR

RADI. RADIUS

RB. RESILENT BASE

RD. ROOF DRAIN

REF. REFRICERATIOR

REINF. REINFORCED

RF. ROOF

RF. ROOF

RF. ROOF

RM. ROOM

1.O. ROUGH OPENING

REQUIRED

TD. RATED

MD. REDWOOD EAST RF.
EACH RF.
EXTERIOR INSULATION FINISH SYSTEM REQ.
EXPANSION JOINT RTD.
ELECTRICAL
ELECTRICAL
ELECVATOR S
EMERGENCY SA.
ENCLOSURE SB.
ENCINEER SC.
EDGE OF SLAB
EJECTRICAL SCHED. EQ. EQUAL
EQPT, EQUIP.
ESCAL. ESCALATOR
EWC. ELECTRIC WATER COOLER
EXH. EXHAUST
"YPO. EXPOSED
T. (E) EXISTING
EXPANSION
EXTERIOR
EXPANSION
EXTERIOR SECTION
SHELF
SHEAT SHEAT INING
SHOWER
SHOWER
SIMILAR
SLIDING
SLIDING DOOR
SCORE LINE
SPECIFICATION
SQUARE
SERVICE SINK
STANLESS STEEL
STONE
STANDARD
STEAL
STORAGE
STRUCTURAL
SUSPENDED
SUPERVISOR
SHEET WINY
SWITCHBOARD
STMMETRICAL EXPANSION
EXTERIOR

FIRE ALARM
FORCED AIR UNIT
FURNISHED BY OTHERS
FLOOR DRAIN
FOUNDATION
FIRE EXTINGUISHER
FIRE EXTINGUISHER
FIRE EXTINGUISHER
FIRE EXPORTINGUISHER
FIRE FOR CABINET
FIRE HYDRANT
FIRE HYDRANT
FIRE HYDRANT
FINISH HIGH POINT
FINISH SURFACE
FLOOR
FLOW LINE
FINISH LOW POINT
FLOOR SINK
FLASHING
FLUORESCENT
FACE OF FORCE
FACE OF FORCE
FACE OF STUD
FACE OF STUD
FACE OF STUD
FACE OF SHEATHING
FACE OF STUD
FACE OF SHEATHING
FACE OF STEEL
FIREPROOF
FRAME
FIRE RATED
FIRERCASS REINFORCED PLASTIC
FOOT OR FEET
FOOTING
FUTURE
GAGE SYMMETRICAL

TREAD

TACKBOARD
TOP OF CURB
TELEPHONE
TRANSFORMER
TONGUE AND GROOVE
THICK
TOOL JOINT
TOP OF
TOOL JOINT
TOP OF CONCRETE
TOP OF CONCRETE
TOP OF CONCRETE
TOP OF COPING
TOP OF MASONRY
TOP OF SLAB
TOP OF SLAB
TOP OF SHEETING
TOP OF WALL
TOP OF WALL
TOP OF PAVEMENT
TUBE STEEL
TELEVISION
TYPICAL

GAGE
GALVANIZED
GRAB BAR
GENERAL CONTRACTOR
GLASS FIBER REINFORCED CONCRETE
GLASS FIBER REINFORCED GYPSUM
GALVANIZED IRON
GALVANIZED IRON
GRADE
GS.
GROUND
GR.
GROE
GS.
GALVANIZED STEEL
GYPSUM BOARD
HIGH

INCANDESCENT
INSIDE DIAMETER OR INSIDE DIMENSION
OR INTERIOR DESIGN
INFORMATION
INSULATION
INTERIOR
ISOLATION

H. HIGH
HB. HOSE BIBB
HC. HOLLOW CORE
HDR. HEADER
HDWD. HARDWOOD
HDWE, HDW. HARDWARE
HGT., HT. HEIGHT
HM. HOLLOW METAL
HP. HORSEPOWER
HP. HIGH POINT
HOR, HORIZ HORZONTAL
HR. HOUR

JANITOR JOIST

UNFINISHED
UNLESS NOTED OTHERWISE
URINAL

VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALLCOVERING

WEST
WITH
WATER CLOSET
WALL COVERING
WOOD
WIDE FLANGE
WATER HEATER
WINDOW DPENING
WITHOUT
WATERPROOF
WATER RESISTANT
WAINSCOT
WET STANDPIPE
WEIGHT

S

LIC #85290

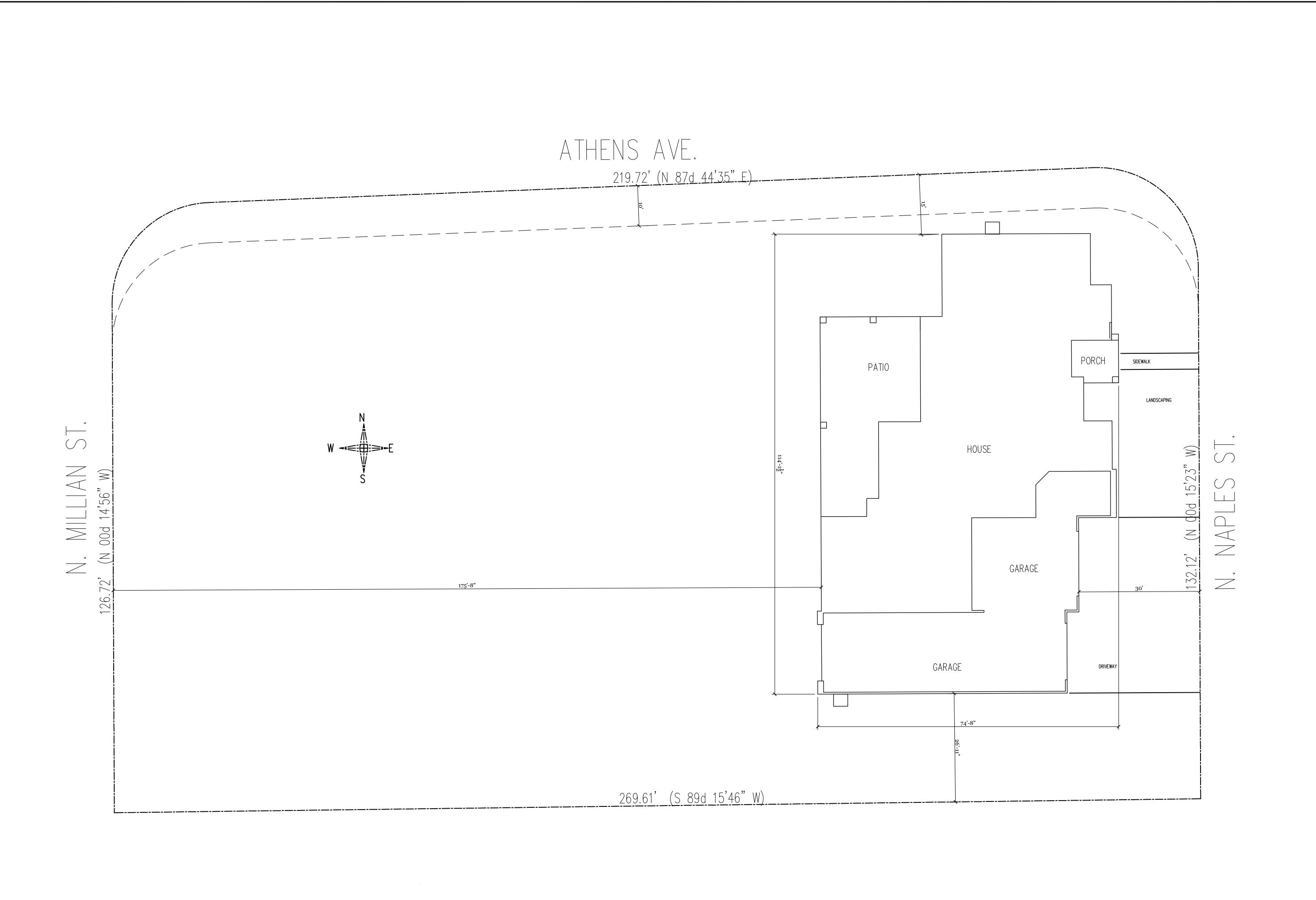
REVISIONS

NO. DATE

2

ORIGINAL DATE: 05/13/21

SCALE: 3/16" = 1'-0"LIVABLE AREA: 4.618 SQ. FT.



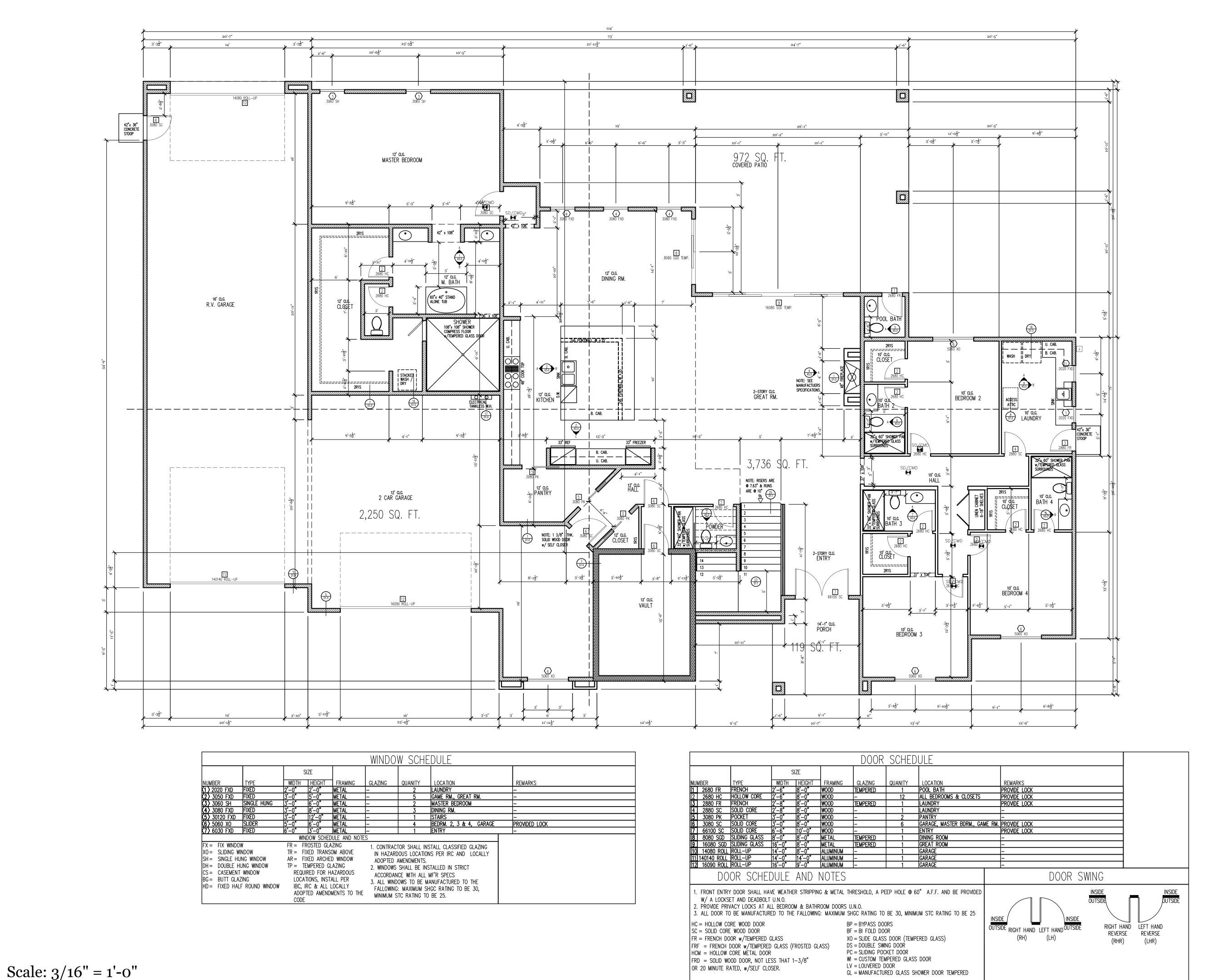
SITE ADDRESS:
744 N. NAPLES ST.
HENDERSON, NV. 89015
PARCEL #
(702) 499-3283
179-04-510-001
NAILING ADDRESS:
431 HULL ST.
HENDERSON
NV. 89015
NV. 89015

B-2 GENERAL
CONTRACTOR

ASSURED DEVELOPMENT INC.
LIC #85290
EXP
3/31/2022

E PLAN

ORIGINAL DATE: 05/13/21 SCALE: 3/16" = 1'-0" LIVABLE AREA: 4,618 SQ. FT.



DOOR NOTES TYPICAL EXTERIOR DOOR AND GARAGE MAN DOOR MIN. OF 1 3/4" SOLID CORE, AND AT GARAGE A SELF CLOSER WITH TIGHT FITTING THRESHOLD. TYPICAL INTERIOR DOOR: FLAT PANEL HOLLOW CORE, OPTIONAL RASED RAISED PANEL. TYPICAL FRENCH DOOR: TEMPERED GLASS, 1-LITE FRENCH TO BE SWING DOOR W/ SELF CLOSER TYPICAL GARAGE DOOR: GARAGE DOOR TO BE ROLL-UP (SEE ELEV. FOR APPEARANCE) OPT. GARAGE DOOR REFER TO FLOOR PLAN FOR DOOR SIZES! WINDOW NOTES TYPICAL EXTERIOR WINDOWS: ALUMINUM FRAME, DUAL PAIN, CLEAR GLASS, AND POSITIVE LOCKING MECHANISM. THE ACTIVE PAIN OF ALL WINDOWS IN BEDROOMS SHALL HAVE A MIN. NET CLEAR OPENABLE AREA OF 5.7 SQ. FT. A MIN. NET CLEAR OPENABLES HEIGHT 24", A MIN. NET CLEAR OPENABLE WIDTH OF 20", AND THE FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE FINISHED FLOOR LIGHT AND VENTILATION REQUIREMENTS FOR ALL WINDOWS ARE TO COMPLY WITH IRC GLASS IN HAZARDOUS AREAS AND ALL GLASS WITHIN 18 INCHES OF THE FLOOR SHALL BE SAFETY GLASS, PER IRC KEYNOTES SPECIFIC FLOOR PLAN NOTES MISC. FIELD NOTES HOUSE SQUARE FOOTAGE 2ND FLOOR TOTAL LIVABLE COVERED PATIO 2 CAR w/ R.V. GARAGE COVERED DECK TOTAL COMBINED = 2x4 WALLS (R-INSULATION ON EXTERIOR ONLY) = 2x6 WALLS (R-INSULATION ON EXTERIOR ONLY) = 8x8x16 CMU WALLS

FLOOR PLAN (1ST FLOOR)

LIC #85290

REVISIONS

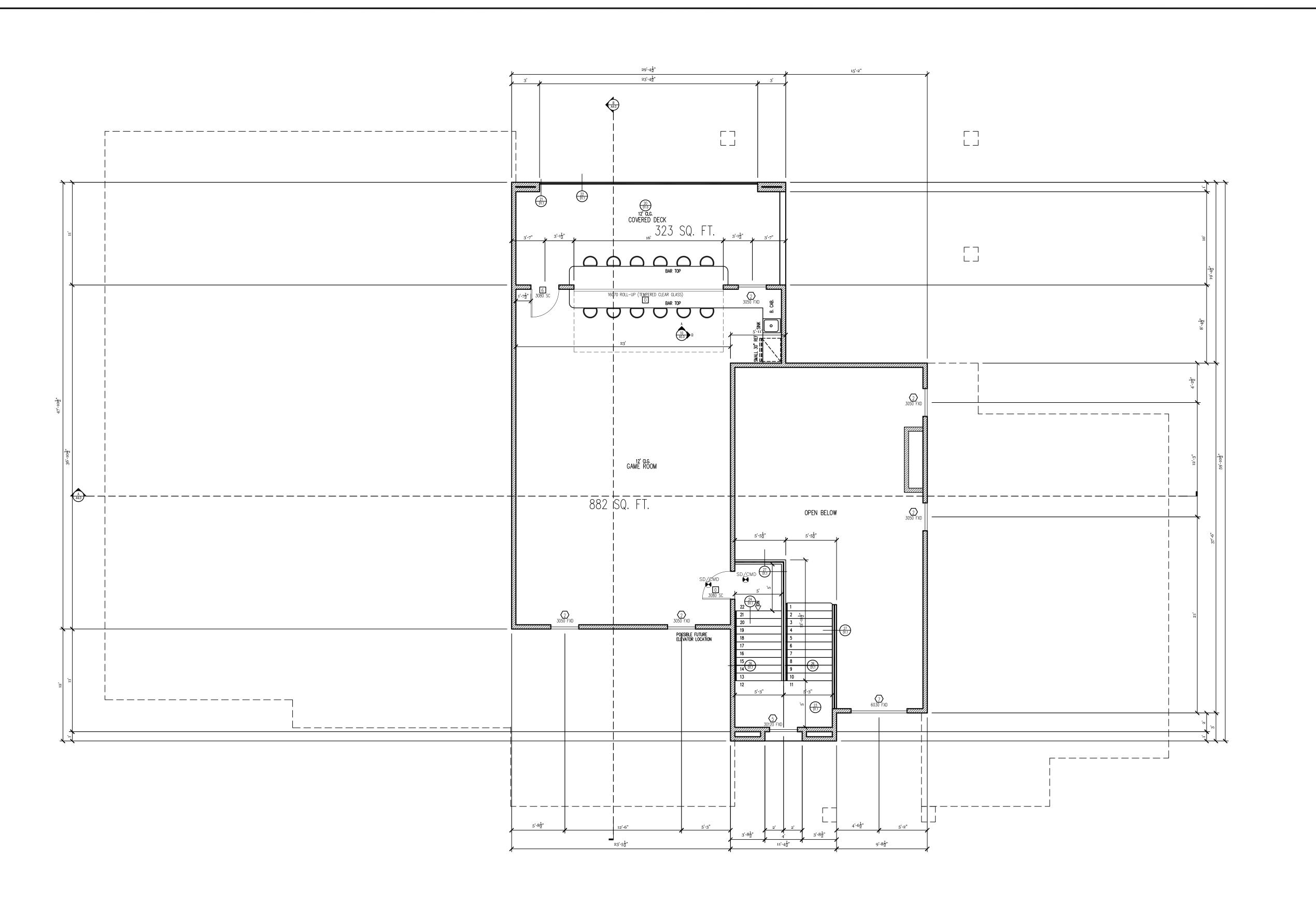
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ORIGINAL DATE: 05/13/21

05/13/21 SCALE: 3/16" = 1'-0" LIVABLE AREA: 4,618 SQ. FT.

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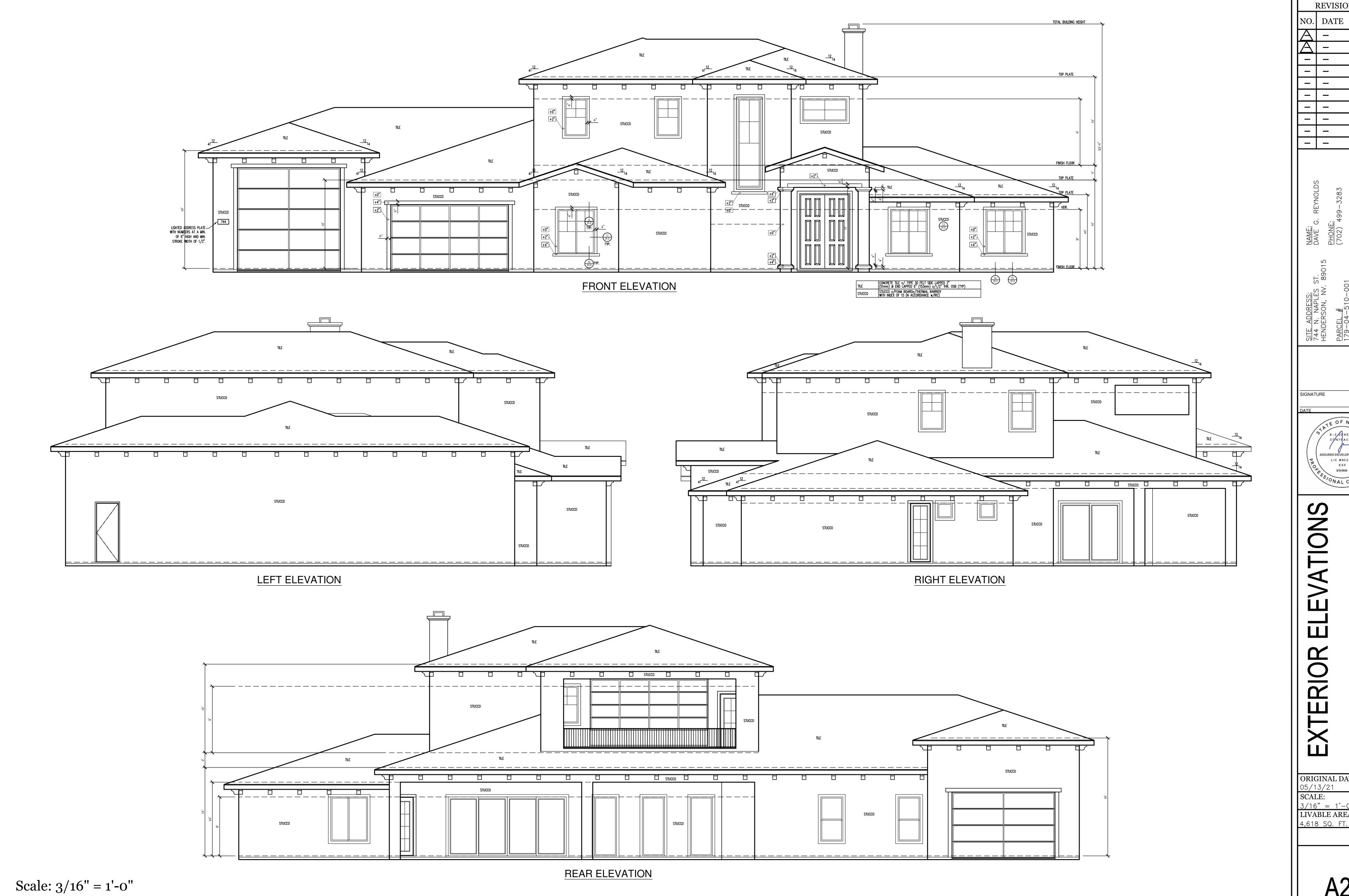


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> FLOOR PLAN 2ND FLOOR)

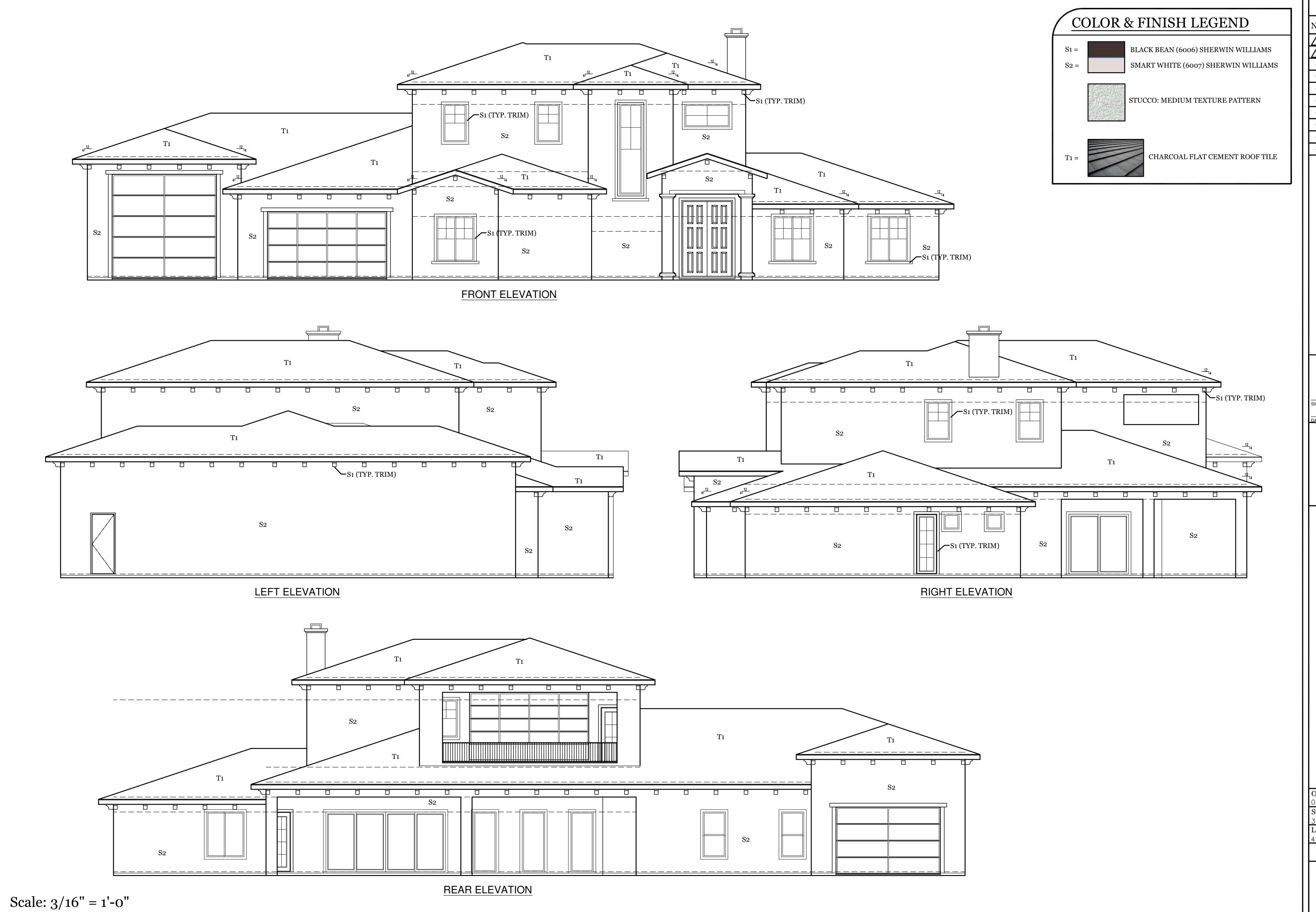
ORIGINAL DATE: 05/13/21 SCALE: 3/16" = 1'-0" LIVABLE AREA:

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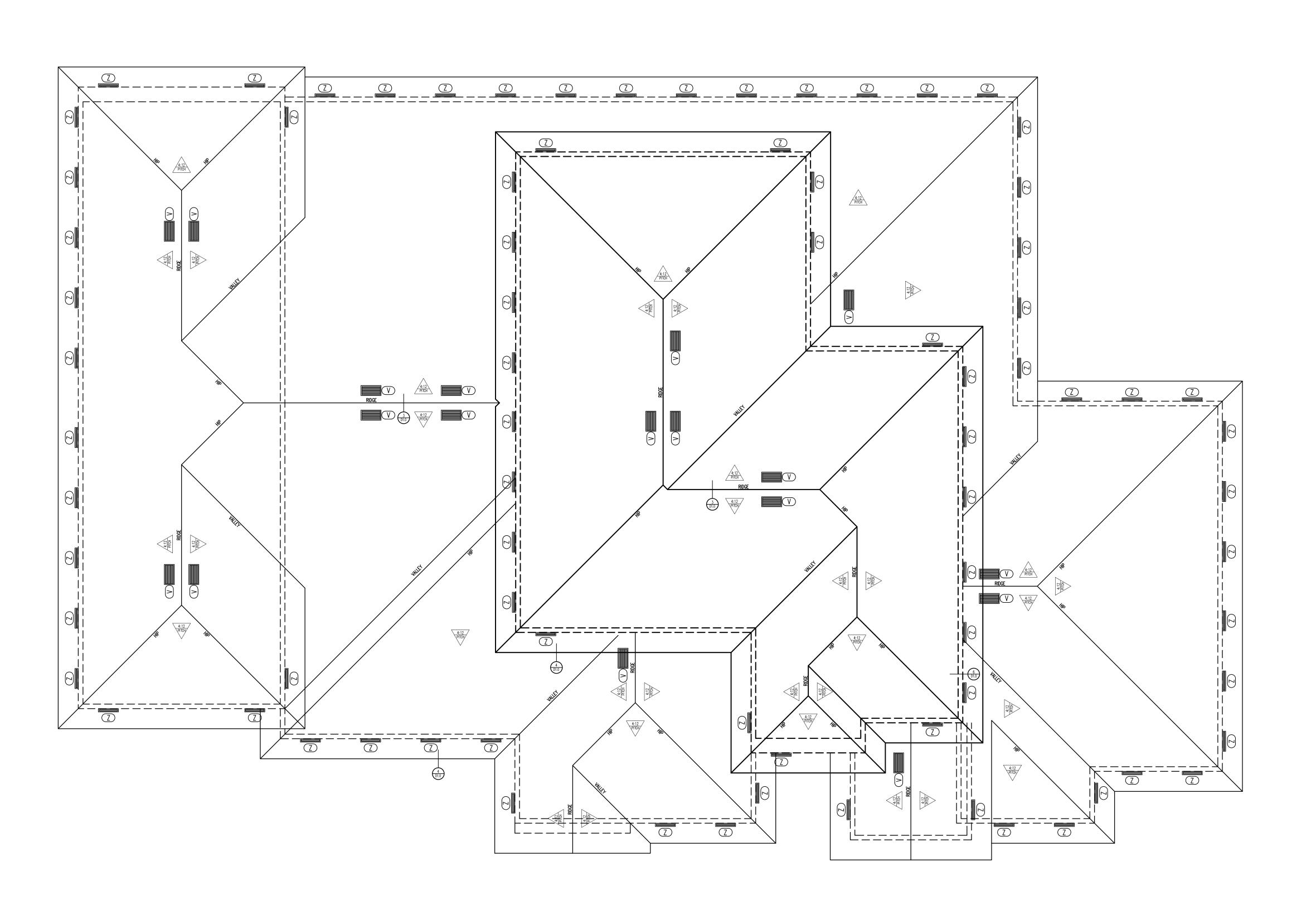
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REVISIONS NO. DATE

ORIGINAL DATE: 05/13/21 SCALE: 3/16" = 1'-0" LIVABLE AREA:



ALL ATTIC VENTILATION SHALL COMPLY w/ IRC.

> GNATURE TE



ROOF LAYOUT

ORIGINAL DATE:

05/13/21

SCALE:

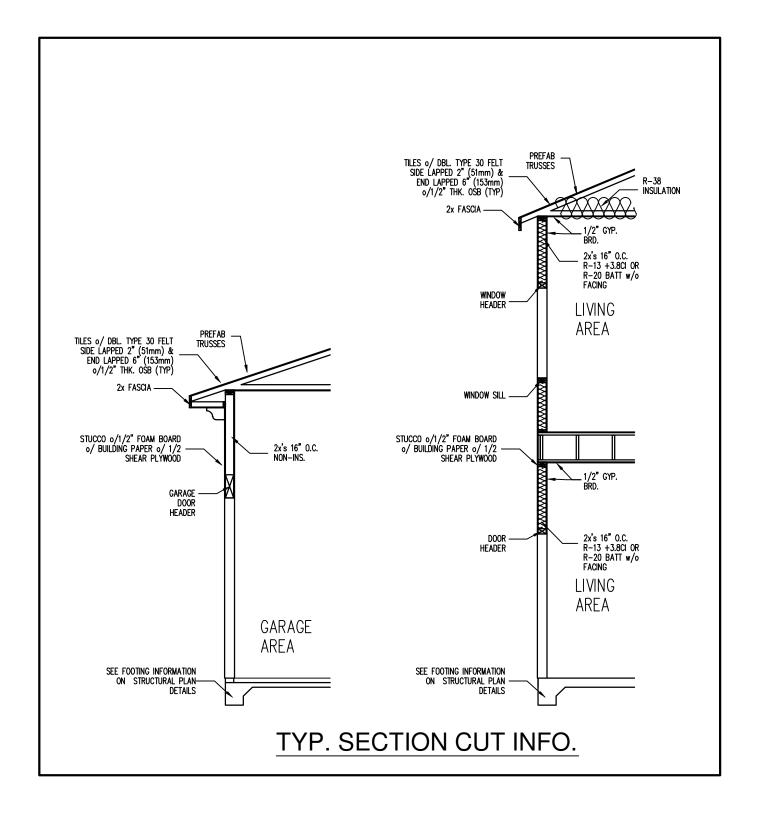
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LIVABLE AREA:

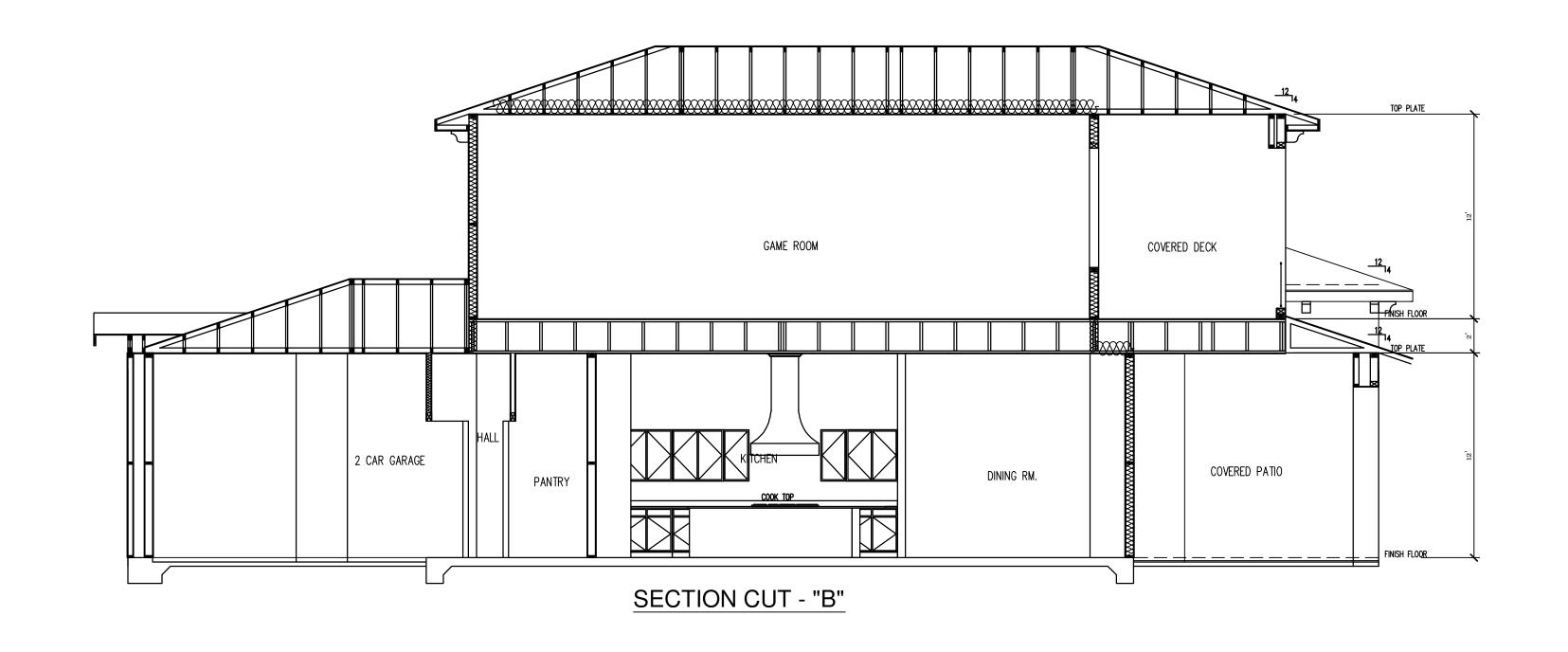
4,618 SQ. FT.

Scale: 3/16" = 1'-0"

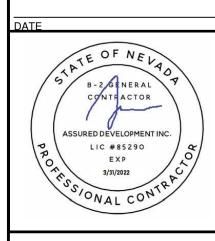
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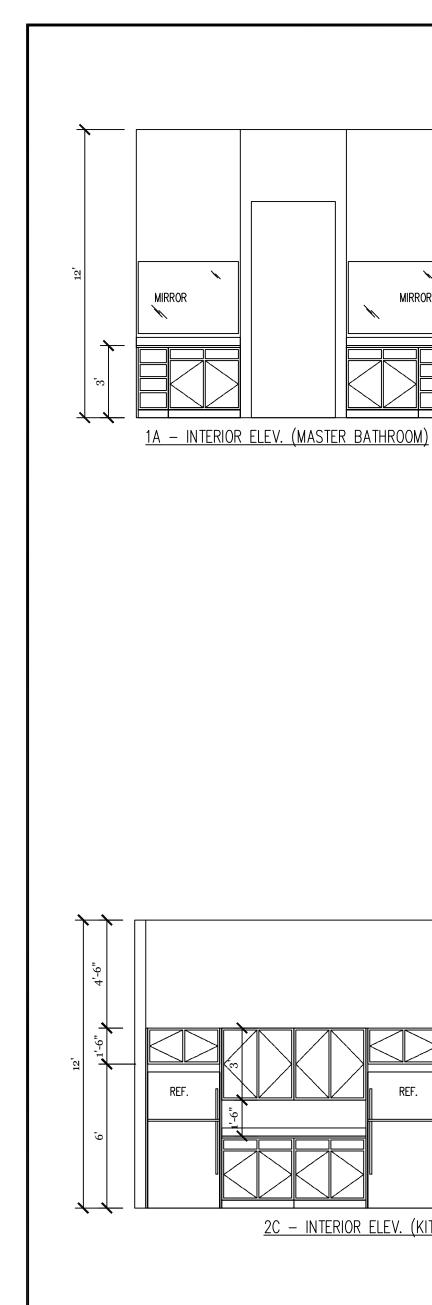


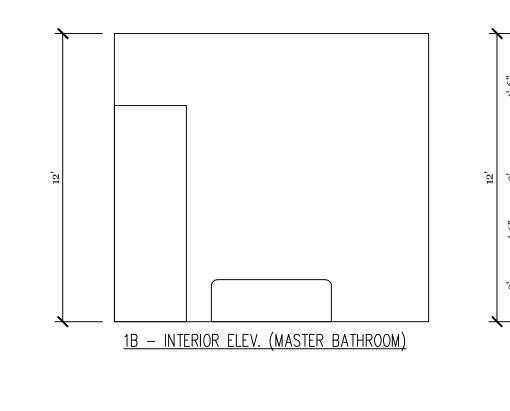


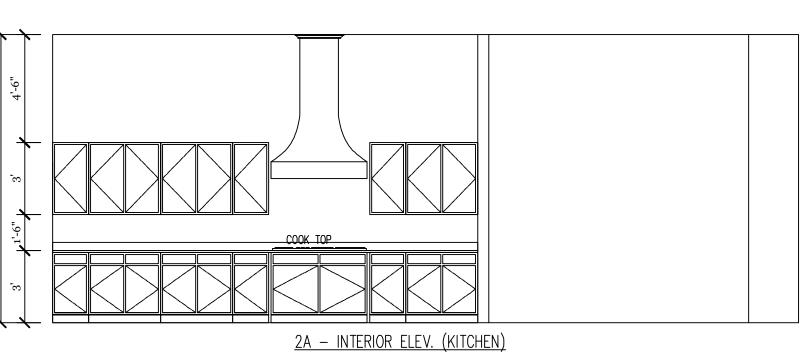
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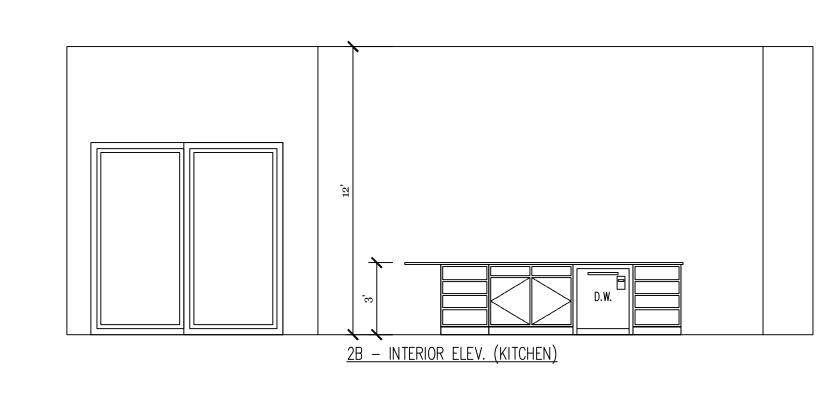


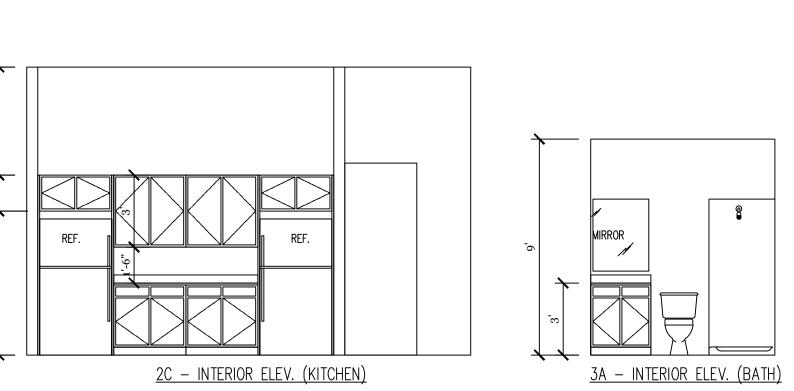
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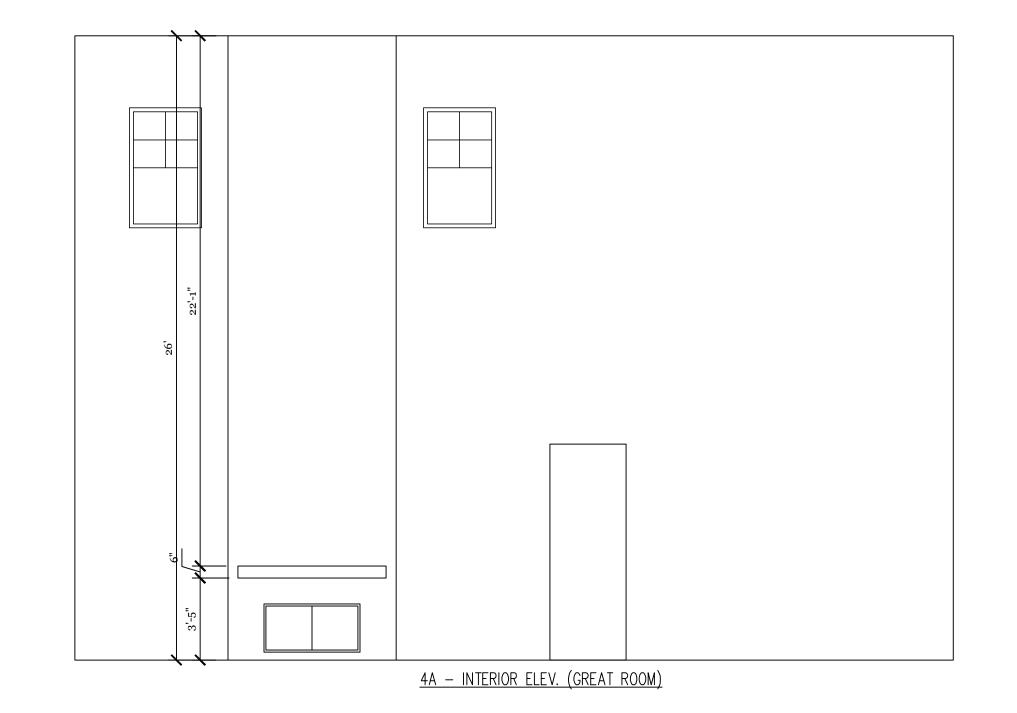


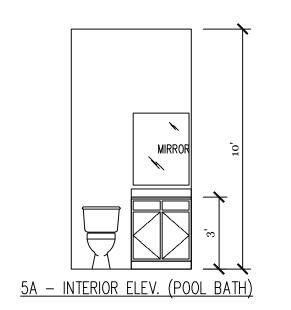


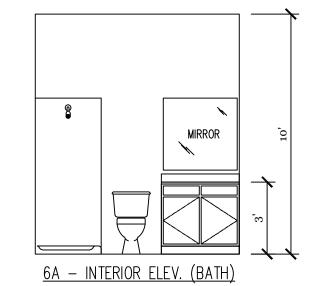


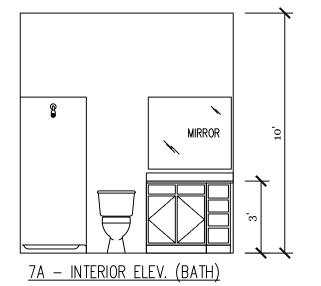


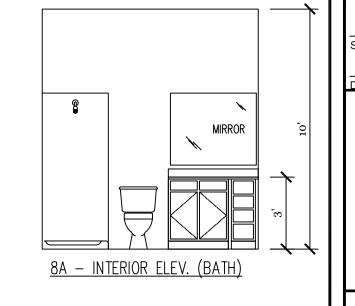


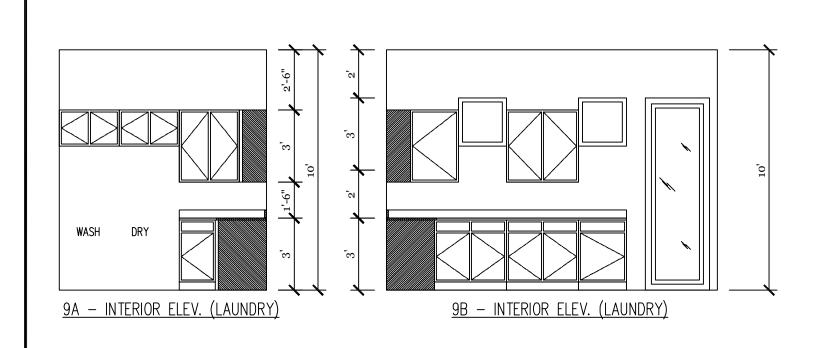










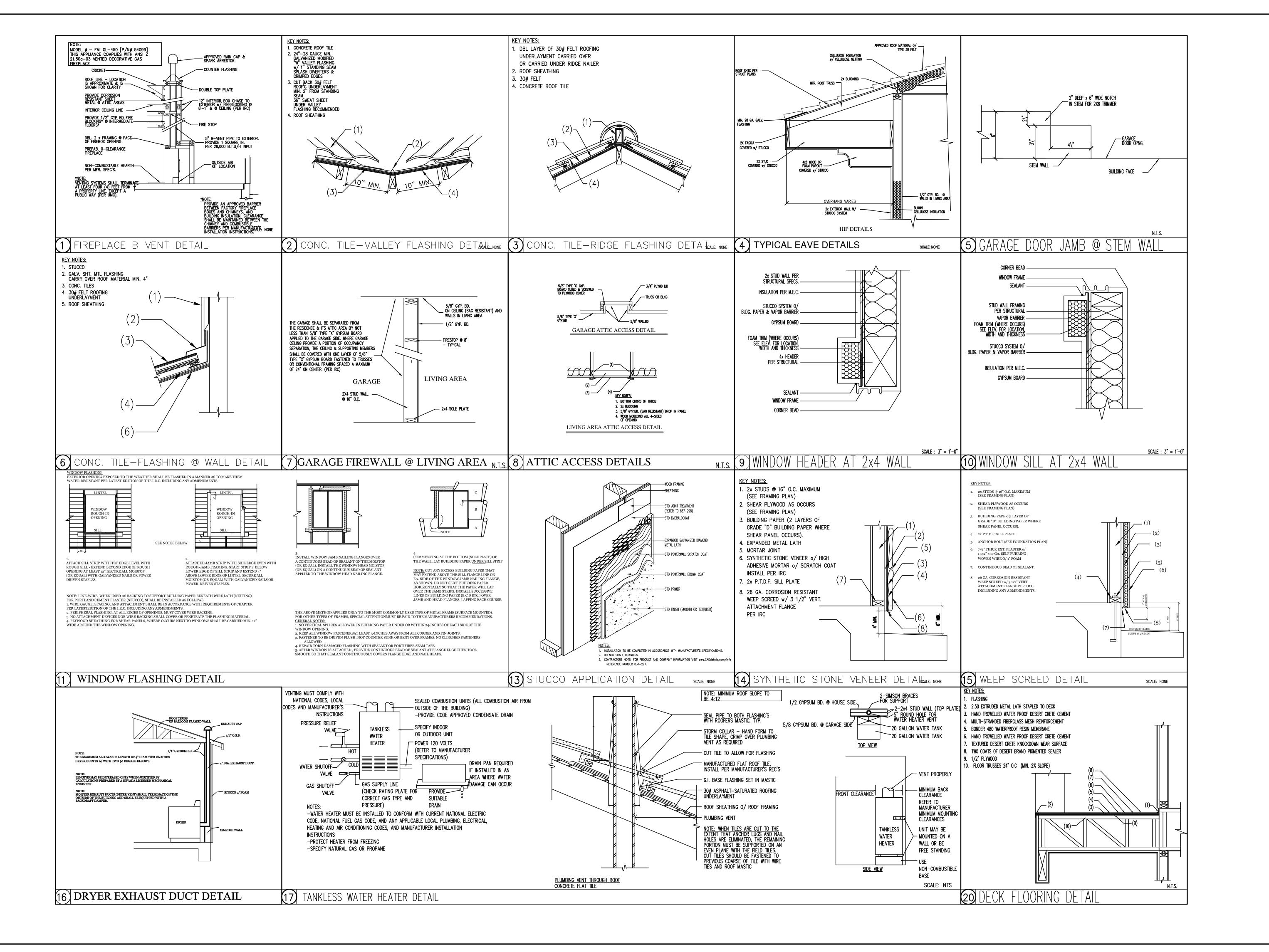


INTERIOR ELEVATIONS

REVISIONS

NO. DATE

ORIGINAL DATE:
05/13/21
SCALE:
3/16" = 1'-0"
LIVABLE AREA:
4,618 SQ. FT.



REVISIONS

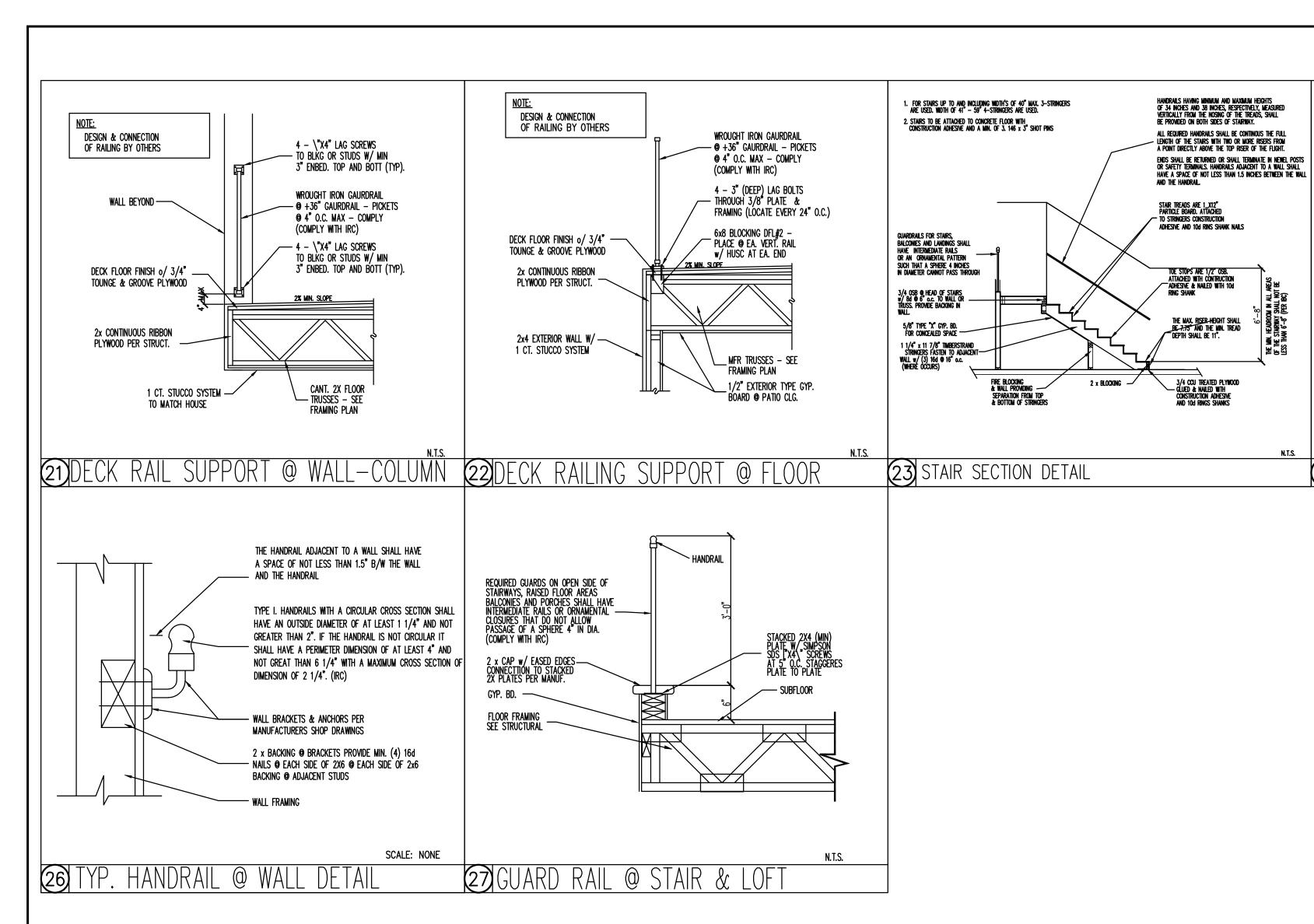
ASSURED DEVELOPMENT INC.
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3/31/2022

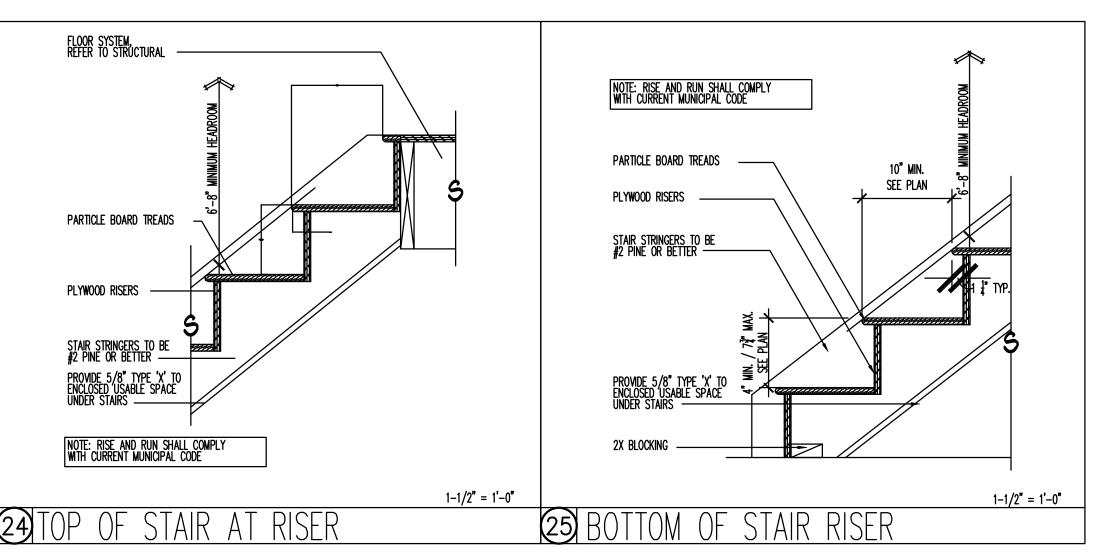
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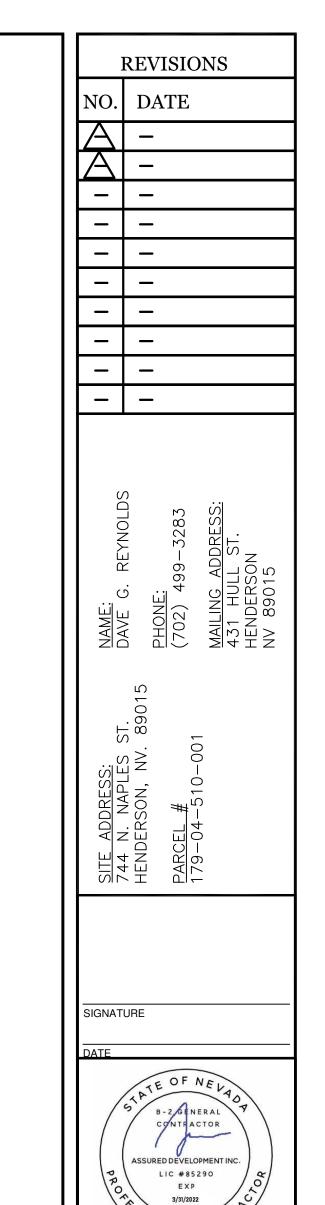
DETAILS

ORIGINAL DATE: 05/13/21 SCALE: 3/16" = 1'-0" LIVABLE AREA: 4.618 SQ. FT.

D1.0

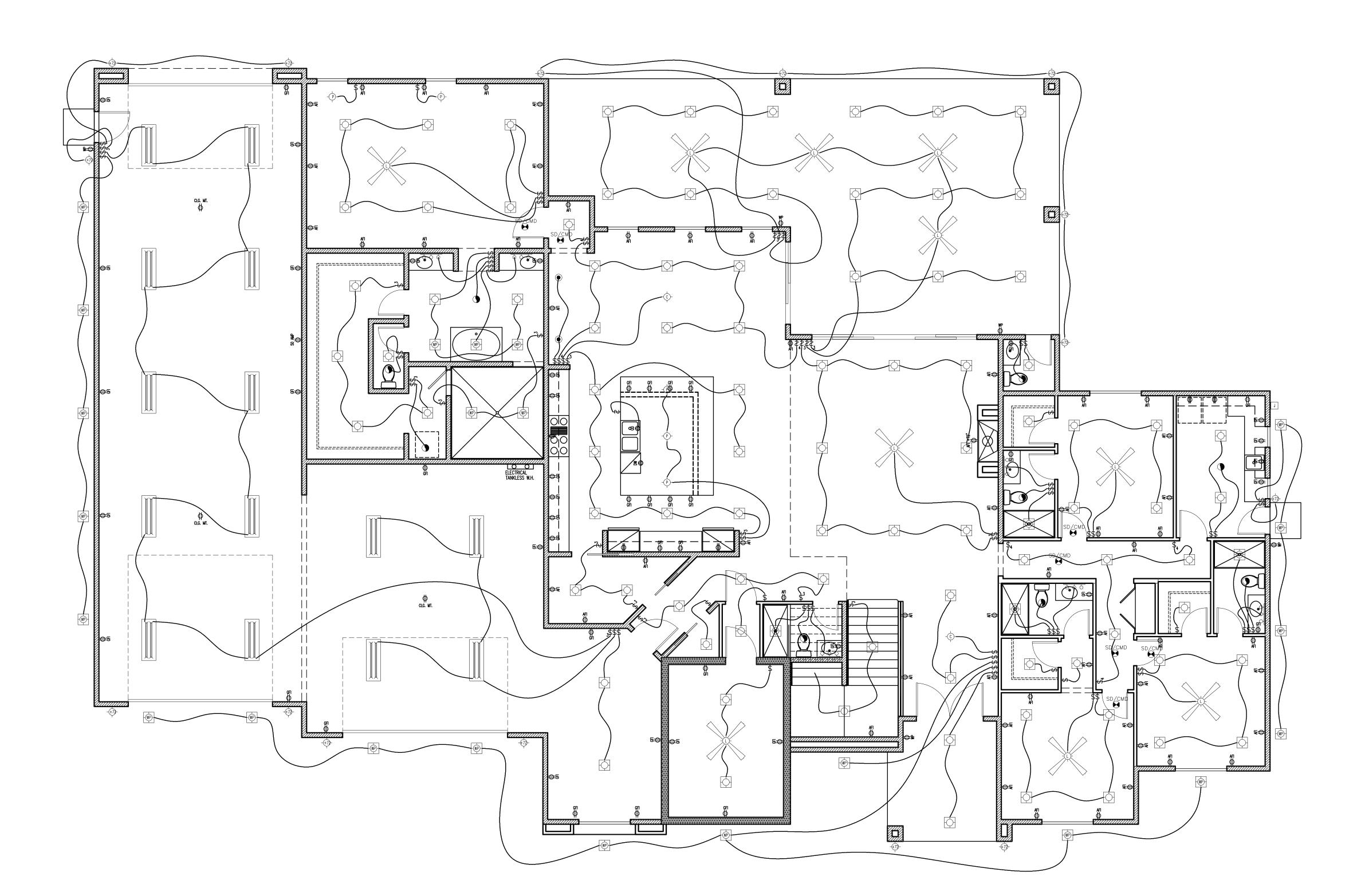


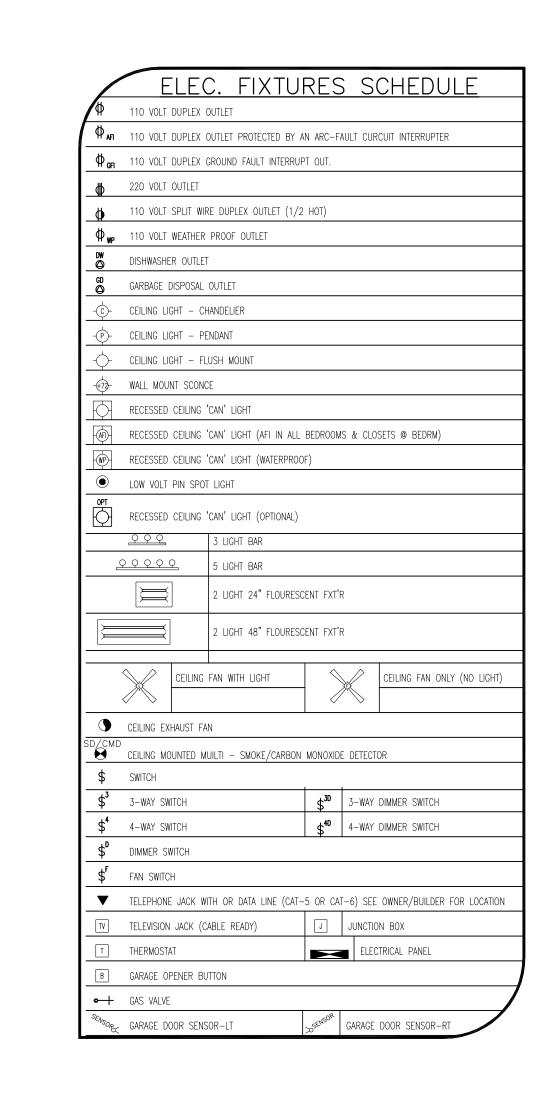




DETAILS

ORIGINAL DATE: 05/13/21 SCALE: 3/16" = 1'-0" LIVABLE AREA: 4,618 SQ. FT.





NOTE: ALL RECEPTACLES SPECIFIED IN 210.52 THAT ARE NON-LOCKING SHALL BE TAMPER-RESISTANT RECEPTACLES NEC406.12.

NOTE: A MINIMUM OF 90% OF PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH—EFFICACY LAMPS 2018 IECC R404.1 2018 CODE.

NOTE: ALL 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (NEC ARTICLE 210.12(A).

NOTE: ALL 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (NEC ARTICLE 210.12(A).

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REVISIONS

ASSURED DEVELOPMENT INC.

LIC #85290

EXP

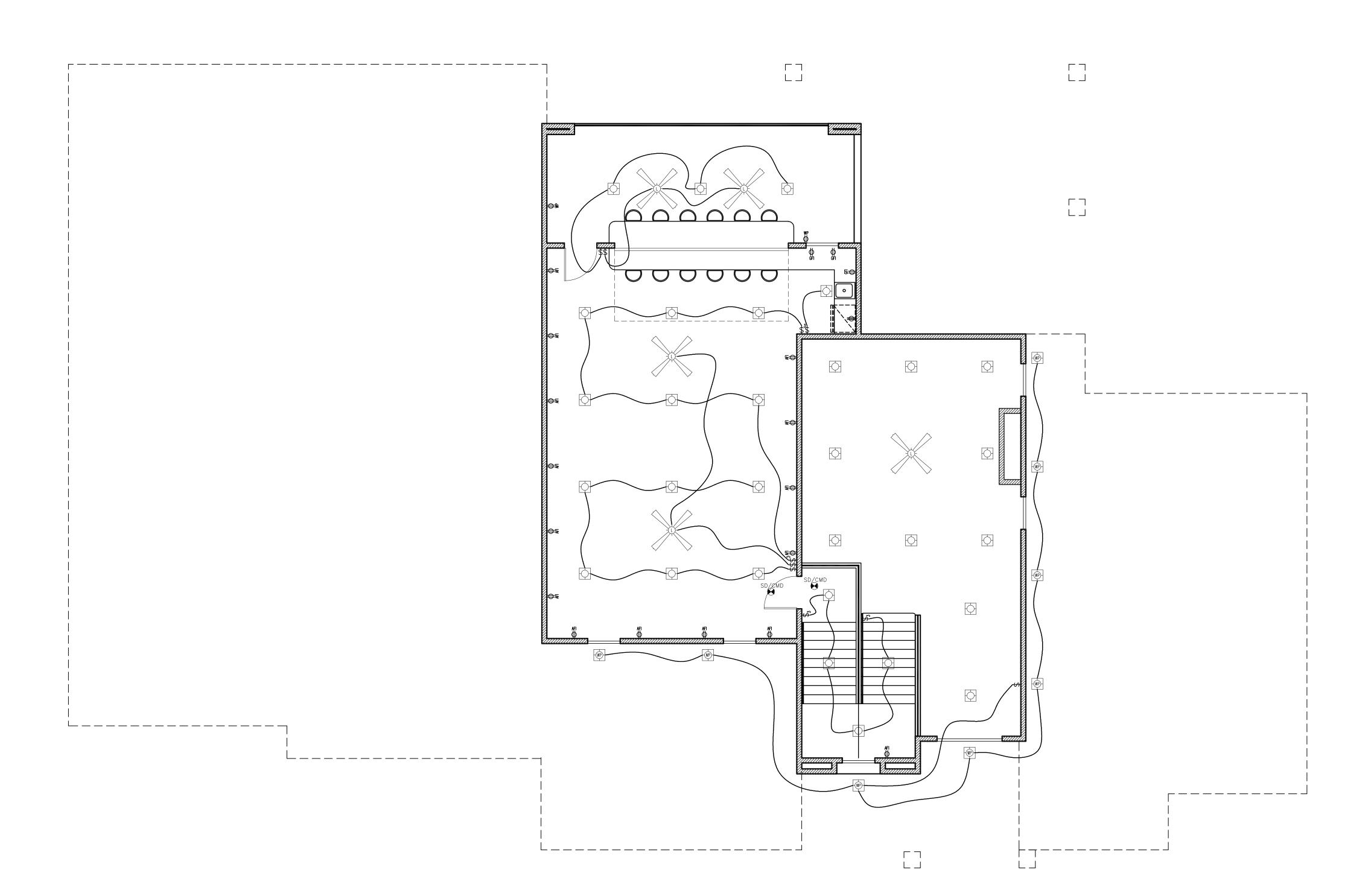
3/31/2022

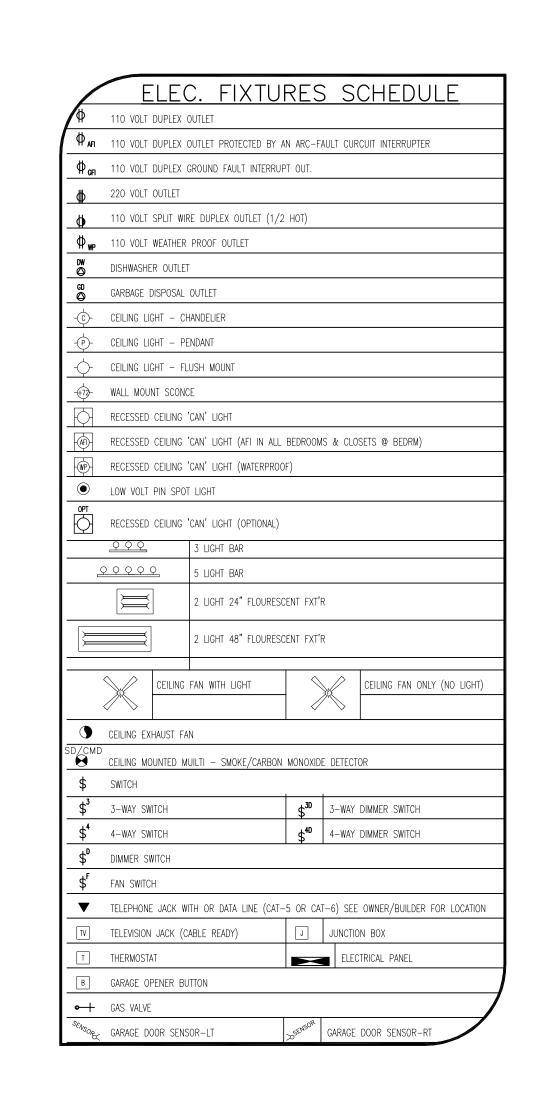
ELECTRICAL PLAN (1ST FLOOR)

ORIGINAL DATE:

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E1.0





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<u>NAME:</u> DAVE G. REYNOLDS	<u>PHONE:</u> (702) 499–3283	MAILING ADDRESS: 431 HULL ST. HENDERSON NV 89015
SITE ADDRESS: 744 N. NAPLES ST.	PARCEL #	
As	B-2 GEN CONTRA	DERAL DERAL DEPARTING.

REVISIONS

NO. DATE

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SCALE: 3/16" = 1'-0" LIVABLE AREA:

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