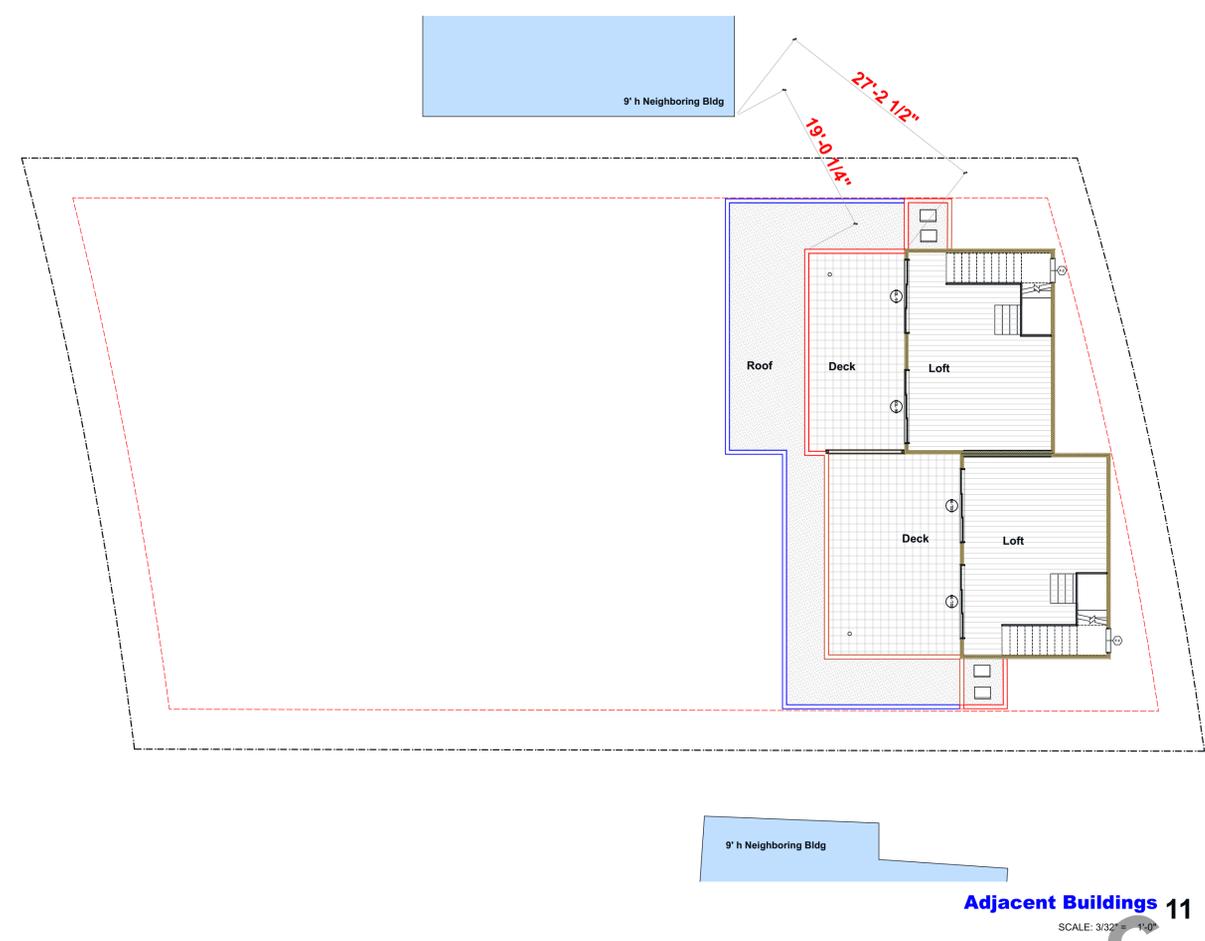




Contact: Joe Yakubik  
702-866-0900  
info@assuredhv.com

Comments | 254 Kansas  
Application No.: CPR-2019004211  
Project Planner: Ryan Loomis



Adjacent Buildings 11  
SCALE: 3/32" = 1'-0"

Shown on Sheet	Description	Notes
1.	The proposed density is 30 du/acre with the 7 units. Per Downtown MP, Basic Townsite lots over 10,000 SF are permitted between 8 du's and 24 du's per acre. (CD)	Lot Area: 9925 sf per Survey
2.	Future submittal includes a Design Review with Modification due to density over allowable density. This requires Planning Commission review. (CD)	Lot Area: 9925 sf per Survey
3.	Please ensure future Design Review application provides items requested on checklist, including items requested below. (CD)	
4.	A-1.0 Site Plan Ensure site plan provides legible dimensions, street names, alley, setbacks, etc. (CD)	
5.	A-1.0 Site Plan Remove floorplan items (doors, rooms, etc.) from the site plan. (CD)	
6.	A-1.0 Site Plan Label on site plan the walls, utility boxes, etc. A six-foot high (6 ft.) privacy fence (decorative masonry, vinyl, wood, or opaque vegetative) is required when abutting a single-family residential lot. (CD)	
7.	A-1.0 Site Plan Show the outline of the building and all setbacks. Building is over parking? (CD)	Bldg over parking deleted
8.	A-0.0 Cover Sheet Provide site data information as far as # of units proposed, open space, etc. (CD)	
9.	In Title Block of all plan sheets Provide north arrow with actual and plan north. Ensure elevation sheets have correct direction. (CD)	
10.	A-1.0 Site Plan Provide parking space widths. (CD)	
11.	A-1.0 Site Plan Show a bicycle parking space. Provide at least one bicycle rack where no less than four bikes may be accommodated. (CD)	
12.	A-1.0 Site Plan Elevations seem to show two separate buildings, but floorplans	Corrected
13.	Attached narrative Architecture of buildings needs enhancement. Please see Downtown MP for architecture types and features/elements. Buildings need to provide 4-sided architecture. Please provide narrative of architectural style to justify compliance with the masterplan. (CD)	TBD
14.	A-1.0 Site Plan Show location of proposed dumpsters. Provide screening per Henderson Development	
15.	A-1.3 Roof Plan Please show location of any mechanical equipment, such as HVAC. Provide screening per Title 19.7.5.H, Mechanical Equipment Screening. (CD)	MEP to provide sizing, preferred location for AC condensers
16.	A-1.0 Site Plan Please show amount of open space. Per Downtown MP, all development is required to provide 100 square feet of common open space per residential unit, or provide a fee-in-lieu if open space not	400 sf required. 590 sf provided.
17.	Include a landscape plan. Anytime when a development will not occupy an entire site, those areas not being used for buildings, parking or required common open space will be required to be landscaped with a sufficient number of trees and shrubs as to provide shade and a pleasant environment for pedestrians and visitors to a site. In addition, the number and spacing of the trees and shrubs located on site shall be such as to ensure the planted materials will remain healthy at full maturity. Quantities of trees and shrubs will be determined per the guidelines of the City of Henderson Urban Forester. (CD)	TBD
18.	Clarify if any portion of this development will be marketed as age-restricted. (CD)	
19.	Provide a utility layout showing location of fire line and domestic backflow devices. (US)	
20.	An NFPA 13 fire sprinkler system and fire alarm system is required. A one hour rated fire riser room is required. (FD)	
21.	Applicant shall submit a drainage study for Public Works approval. (PW-FLD)	
22.	Applicant shall submit Civil Improvement Plans per Public Works requirements (PW-ND)	
23.	A traffic impact study will be required. (PW-TR)	
24.	Tree canopies should be no lower than six feet and shrubs/bushes no taller than three feet in height. (CP)	To be shown on full landscape drawings to follow.



Materials | Elevation | East (Front) 09  
SCALE: 3/16" = 1'-0"

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PROJECT

254 Kansas Ave.  
A New Multi-Family Apartment Building

Henderson, NV  
89015

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Design Review

DR-1.1

**Abbreviations**

- AC AIR CONDITIONING
- ADJ ADJUSTABLE
- AFF ABOVE FINISH FLOOR
- APPR APPROXIMATELY
- ATTN ATTENTION
- BRD BOARD
- BLDG BUILDING
- BO BOTTOM OF
- CIP CAST IN PLACE
- CLG CEILING
- CLOS CLOSET
- CLR CLEAR
- CONC CONCRETE
- CONT CONTINUOUS
- CSMT CASEMENT
- DBL DOUBLE
- DH DOUBLE HUNG
- DEMO DEMOLISH
- DET DETAIL
- DIM DIMENSION
- DR DOOR
- DWG DRAWING
- (E) EXISTING
- EA EACH
- ELEV ELEVATION
- EQ EQUAL
- ETC ETCETERA
- EXG EXISTING
- EXT EXTERIOR
- FD FLOOR DRAIN
- FG FIXED GLASS
- FF FINISH FLOOR
- FFE FINISH FLOOR ELEVATION
- FS FINISH SLAB
- FSE FINISH SLAB ELEVATION
- FIN FINISH
- FLR FLOOR
- FOC FACE OF CONCRETE
- FOF FACE OF FINISH
- FOS FACE OF STUD
- GA GAGE OR GAUGE
- GALV GALVANIZED
- GL GLASS
- HB HOSE BIBB
- HS HORIZONTAL SLIDER
- HORZ HORIZONTAL
- HVAC HEATING VENTING AND AIR CONDITIONING
- INCL INCLUDES OR INCLUDING
- INT INTERIOR
- LAV LAVATORY
- LF LINEAR FEET
- LIN LINEN
- MAT MATERIAL
- MFR MANUFACTURER
- MAX MAXIMUM
- MIN MINIMUM
- MIW MAKE IT WORK
- (N) NEW
- NIC NOT IN CONTRACT
- NOM NOMINAL
- NTS NOT TO SCALE
- OC ON CENTER
- OCBW ON CENTER BOTH WAYS
- OY OVER
- OSB ORIENTED STRAND BOARD
- RCP REFLECTED CEILING PLAN
- REQD REQUIRED
- RM ROOM
- RO ROUGH OPENING
- SF SQUARE FOOT/FOOTAGE
- SH SINGLE HUNG
- SHLVS SHELVES
- SIM SIMILAR
- SCD SEE CIVIL DRAWINGS
- SLD SEE LANDSCAPE DRAWINGS
- SSD SEE STRUCTURAL DRAWINGS
- SGL SLIDING GLASS DOOR
- STOR STORAGE
- S&R SHELF AND ROD
- T&G TONGUE AND GROOVE
- TBD TO BE DETERMINED
- TO TOP OF
- TOS TOB OF SLAB
- TYP TYPICAL
- UBC UNIFORM BUILDING CODE
- UNO UNLESS NOTED OTHERWISE
- VERT VERTICAL
- VIF VERIFY IN FIELD
- W WITH
- WC WATER CLOSET
- WH WATER HEATER
- WIN WINDOW



**Sheet Index**

DR-1.1	Design Review
<b>Architectural</b>	
A-0.0	Project Info
A-0.1	Plan   Site
A-1.1	Plan   1st, 2nd Level
A-1.3	Plan   Bldg   3rd Level, Roof
A-2.1	Exterior Elevations
A-3.1	Sections
A-4.1	Wall Sections
A-5.1	Details   Exterior
A-5.2	Details   Stairs
E-1.1	Plans   Electrical
<b>Structural</b>	
S-1.1	Schematic Structural Plans NFC



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**PROJECT**

254 Kansas Ave.

A New Multi-Family Apartment Building

Henderson, NV 89015

<b>Lot Info</b>	254 Kansas
	Subdivision Name: Henderson Townsite
	Lot 14 Block 9
<b>Lot Square Footage:</b>	9925.25 sf
<b>Building Footprint:</b>	2289 sf
	23% coverage of Lot
<b>Common Open Space</b>	590 sf
<b>Unit Info</b>	
Unit A	1141 sf 2-Bedroom
Unit B	1148 sf 2-Bedroom
Unit C	2006 sf 2-Bedroom + Loft
Unit D	2114 sf 2-Bedroom + Loft
<b>Total AC</b>	<b>6409 sf</b>

<b>Age Restrictions</b>	
No portion of this development will be marketed as age-restricted	
<b>Parking Spaces</b>	
Spaces Required	4
Standard Spaces provided	5
Compact Spaces provided	5
<b>Total Spaces provided</b>	<b>10</b>
	+4 on-street adjacent
<b>Fire Sprinklers</b>	
NFPA 13 fire sprinkler system and fire alarm system	

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Project Info

**A-0.0**

**Symbol Legend**



**Vicinity Map**



**Keynotes**

- 00.4 Notes: Site Plan**
- 04.2 6' CMU Dumpster enclosure  
6' max.ht. Hinged wooden gate. See Detail
- 00.44 Bike Rack  
To hold 4 Bikes. See Detail.
- 01.1 Water Meter  
1" min. domestic Water Meter
- 02 Existing Conditions**
- 2.04.02 Exist. Sidewalk  
Repair or Replace as necessary
- 04.2 Unit Masonry**
- 04.22.01 CMU Wall 32" h  
CMU Decorative Wall
- 04.22.02 CMU Wall 6' h  
CMU Decorative Wall
- 05 Metals**
- 05.76 Steel Column  
SSD for size, type
- 32 Exterior Improvements**
- 32.3 Fences

32.31 Wood Fence 6' h  
6' max.ht. Decor. Wood Fence, gates where shown



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89015

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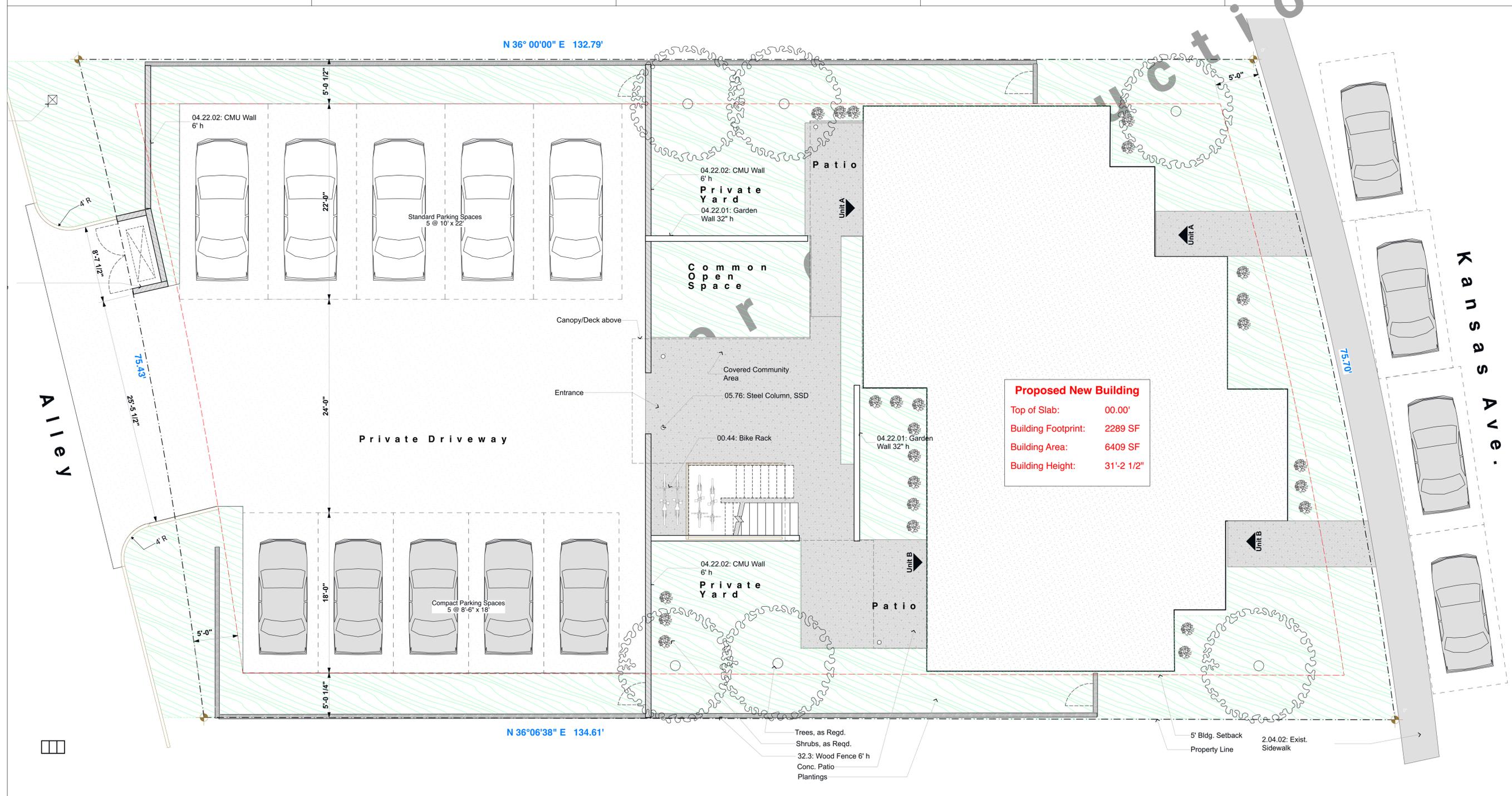
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Plan | Site



**A-1.0**



**Proposed New Building**  
 Top of Slab: 00.00'  
 Building Footprint: 2289 SF  
 Building Area: 6409 SF  
 Building Height: 31'-2 1/2"

**Site Plan 01**  
SCALE: 3/16" = 1'-0"

**Keynotes**

<b>03</b>	<b>Concrete</b>
03.01.04	Concrete Patio Reinf. Conc. Slab. Re Struct. Dwg.
<b>05</b>	<b>Metals</b>
05.76	Steel Column SSD for size, type



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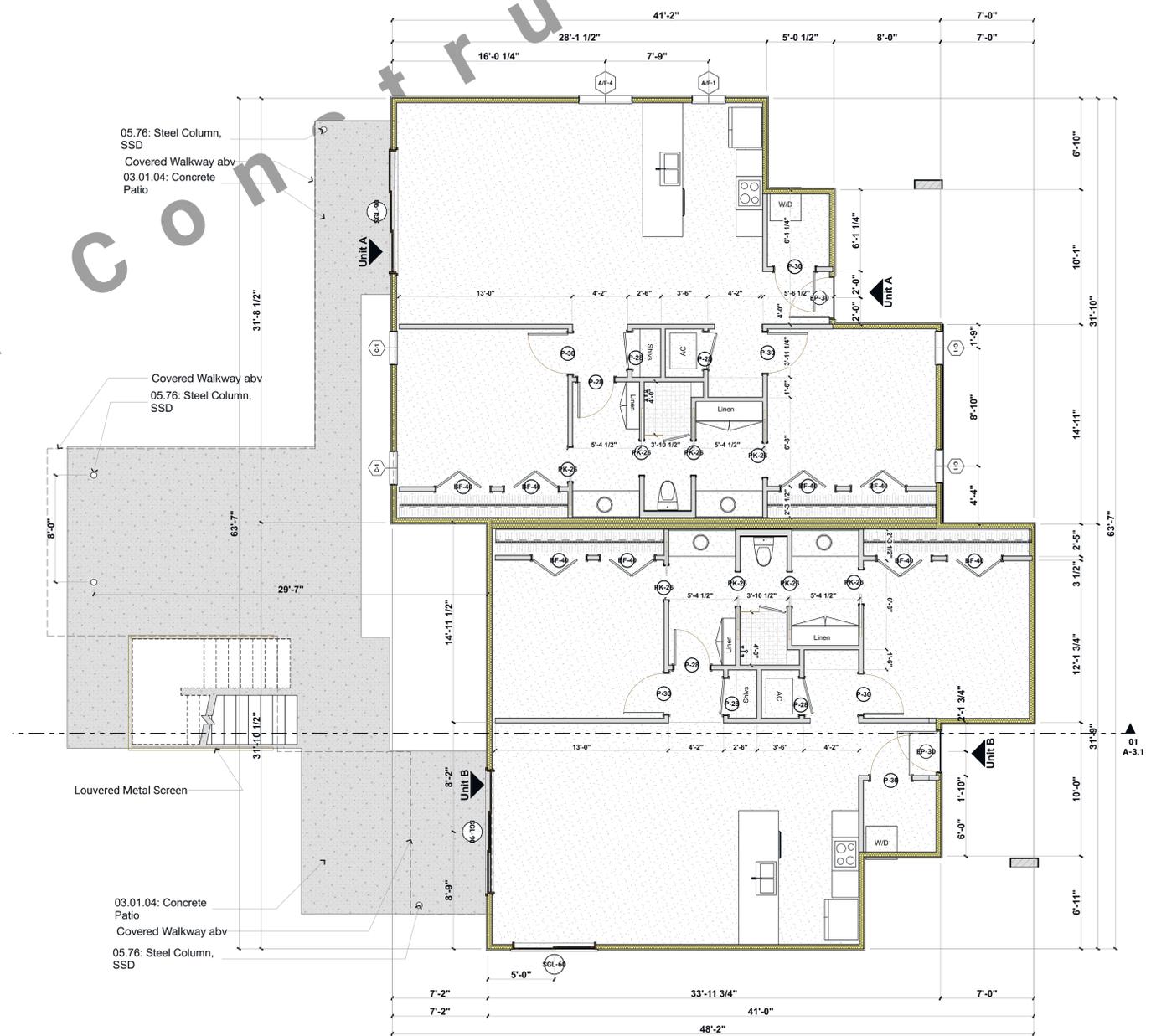
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Plan | 1st Level



**A-1.1**

Not For Construction



**Flooplan | 1st Level 01**

SCALE: 3/16" = 1'-0"

**Keynotes**

<b>05</b>	<b>Metals</b>
05.11	Metal Guardrail 36" min. height; Open spaces to be <4"; To resist 200 lb. load from any direction
05.12	Metal Railing 36" min. height; Open spaces to be <4"; To resist 200 lb. load from any direction
05.76	Steel Column SSD for size, type
<b>07.3</b>	<b>Roofing</b>
07.50.00	TPO Roof Membrane Over 1/2" plywood or OSB of roof structure.
07.72.35	Metal Parapet Cap
<b>09</b>	<b>Finishes</b>
<b>09.3</b>	<b>Tile</b>
09.30.14	Porcelain Tile Thin set, Slip-resistant
<b>23</b>	<b>HVAC</b>
23.37.14	AC Compressor



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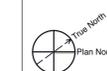
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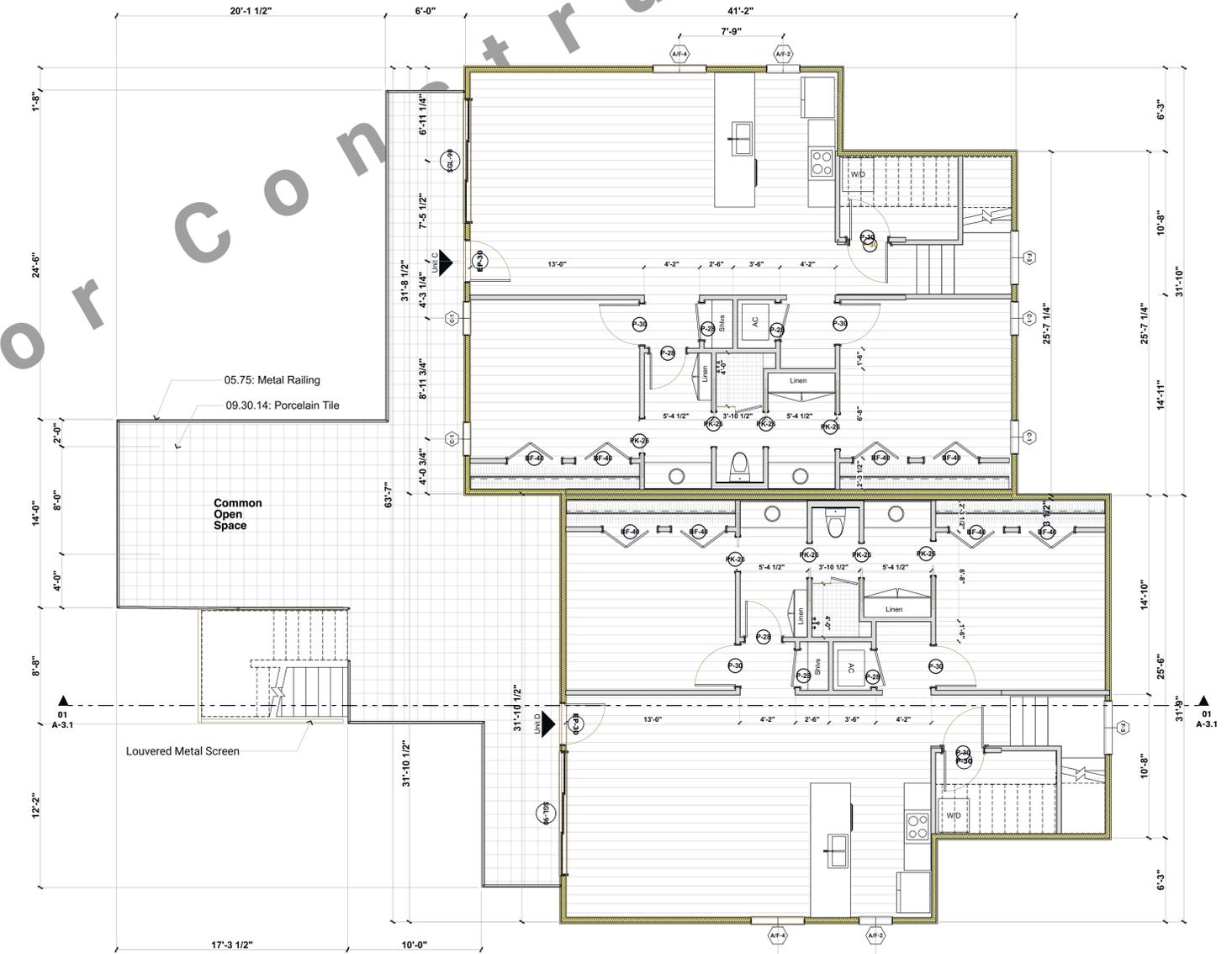
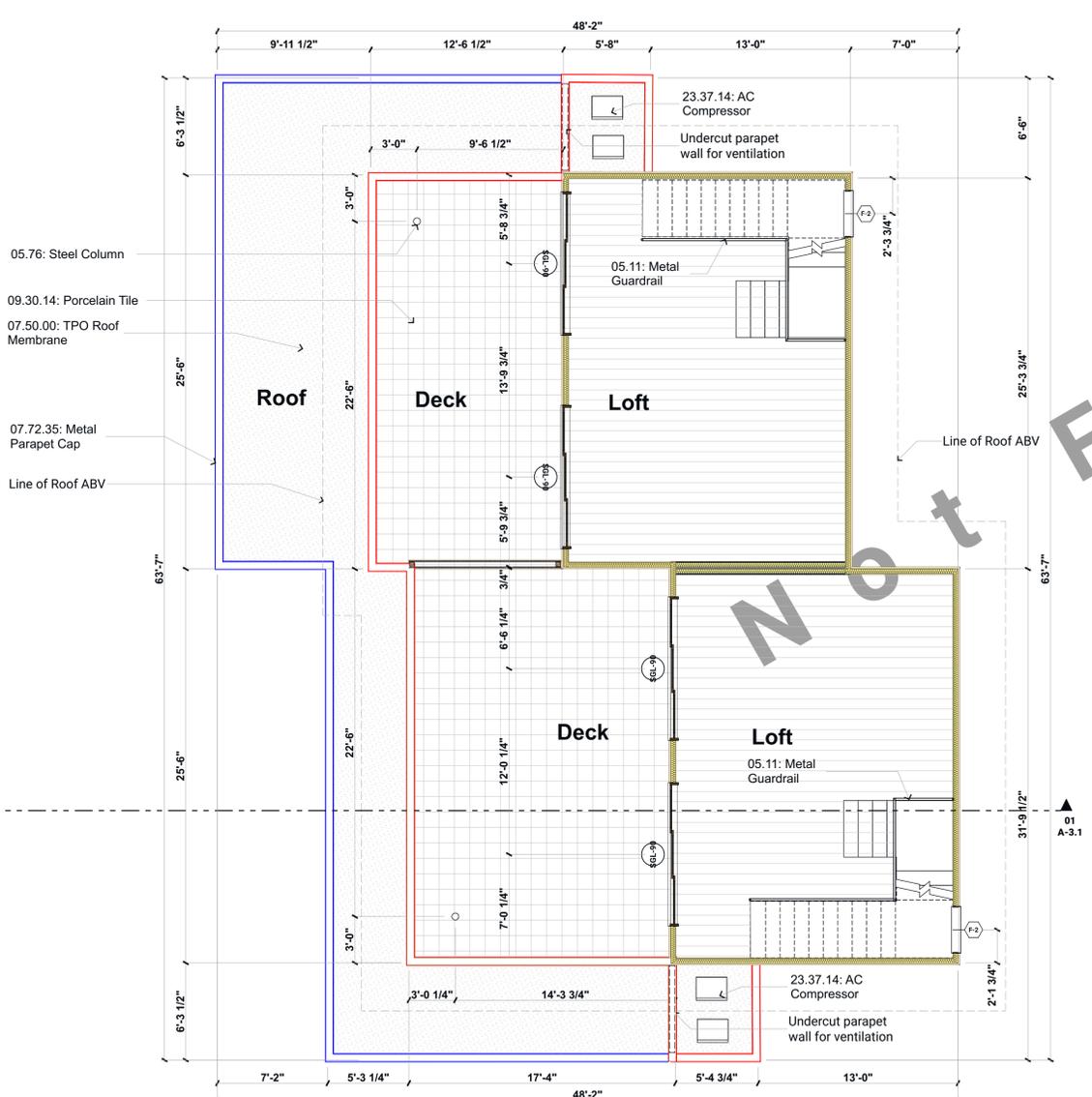
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Plan | 2nd, 3rd Level



A-1.2



**Keynotes**

- 07.3 Roofing**
- 07.50.00 TPO Roof Membrane  
Over 1/2" plywd or OSB o/ roof structure.
- 07.72.35 Metal Parapet Cap
- 07.4 Claddings**
- 07.46.23 Wood Siding
- 07.46.48 Stucco**
- 09.24.23 Stucco Finish  
1" Cement Stucco over Metal Lath over drainage  
plane over Housewrap
- 09.24.24 Stucco Soffit  
1" Cement Stucco over Metal Lath over drainage  
plane over Housewrap
- 09.24.25 Stucco Finish  
1" Cement Stucco over Metal Lath over drainage  
plane over Housewrap



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Exterior Elevations

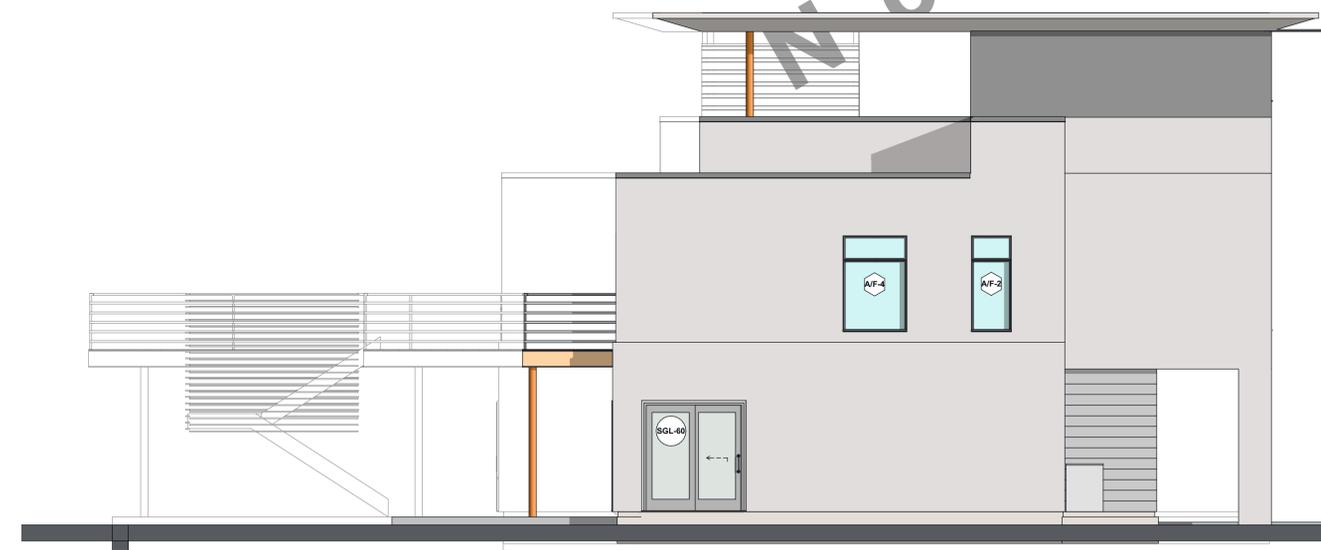
**A-2.1**



**North Elevation 10**  
SCALE: 3/16" = 1'-0"



**West Elevation 02**  
SCALE: 3/16" = 1'-0"



**South Elevation 09**  
SCALE: 3/16" = 1'-0"



**Elevation | East (Front) 01**  
SCALE: 3/16" = 1'-0"

- TPO Roc
- White re.
- Stucco S
- Light Gr
- Stucco F
- Dark Gr
- Metal Pa
- Dark Gr
- Stucco F
- Light Gr
- Wood Sit