FIRE SAFETY DIVISION ACCEPTED IN ACCORDANCE WITH THE PROVISIONS OF THE

INTERNATIONAL FIRE CODE, ACCEPTANCE OF PLAN DOES NOT PRECLUDE COMPLIANCE WITH **APPLICABLE CODES & STANDARDS** mark.sandusky@cityofhenderson.com 06-30-2021

SUBMIT NFPA 13D ENHANCED FIRE SPRINKLER SYSTEM SHOP DRAWINGS FOR HOMES > 3600 SQ. FT.(LIVING +

> **MINIMUM 1" RESIDENTIAL** FIRE METER (RFM) REQUIRED

LANNER'S SIGNATURE: City of Henderson BUILDING & FIRE SAFETY

OCCUPANCY CLASSIFICATION: SINGLE FAMILY DWELLING

APPROVED FOR CONSTRUCTION

UBJECT TO FIELD INSPECTION & CODE COMPLIANCE

Tom.McCleister@cityofhenderson.com

08-17-2021

COMMUNITY DEVELOPMENT **APPROVAL** Aug 23 2021

HENDERSON, NV.

OWNER INFORMATION

ASSESSOR PARCEL NO.: 179-04-510-003 JOBSITE ADDRESS: (LOT 3) 736 Naples St., Henderson, NV 89015

OWNER NAME: SOUTH WEST ENTERPRISE HOLDINGS L L C

PROJECT NAME: 736 NAPLES ST.

CONTRACTOR DECARATION

NAME: ASSURED DEVELOPMENT

ADDRESS: 2 IDAHO WAY

STATE: NEVADA CITY: HENDERSON ZIP: 89015

DATE: 07/08/20

SHEET INDEX

A4.0 SECTION CUTS

D1.0 DETAILS

L1.0 SITE PLAN

INTERIOR ELEVATIONS

MO.1: MECHANICAL CALCULATIONS

EO.O: ELECTRICAL LOAD CALCULATION

M1.1: MECHANICAL DESIGN

PO.1: PLUMBING DETAILS

P1.1: PLUMBING DESIGN

1.0: ELECTRICAL PLAN

-1: SPECIFICATIONS

-1A: SPECIFICATIONS

-2: FOUNDATION PLAN

-4: SHEARWALL PLAN

: GRADING REPORT

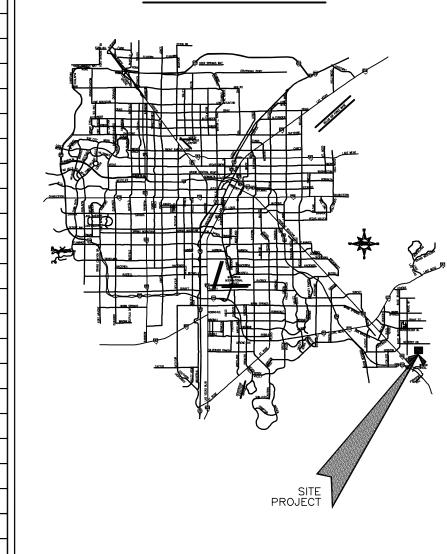
-5: DETAILS

-3: ROOF FRAMING PLAN

-6: FOUNDATION DETAILS

CS.O COVER SHEET, GEN. SPEC. & INFORM. AI.U FLOOR PLAN A2.0 EXTERIOR ELEVATIONS A3.0 ROOF LAYOUT

VICINITY MAP



OCCUPANCY TYPE: R-3/U-1

CONSTRUCTION TYPE: V N

CODE REFERENCE

THESE SET OF DOCUMENTS ARE PREPARED IN ACCORDANCE WITH:

2018 INTERNATIONAL BUILDING CODE

2018 INTERNATIONAL RESIDENTIAL CODE

2018 UNIFORM MECHANICAL CODE

2018 UNIFORM PLUMBING CODE 2017 NATIONAL ELECTRICAL CODE

2018 INTERNATIONAL ENERGY CONSERVATION CODE

AND SOUTHERN NEVADA AMENDMENTS

GENERAL NOTES

- 1) THE DATA INDICATED ON THE DRAWINGS AND IN THESE SPECIFICATIONS ARE AS EXACT AS COULD BE SECURED, BUT THEIR ABSOLUTE ACCURACY IS NOT GUARANTEED. EXACT LOCATIONS, DISTANCES, LEVELS AND OTHER CONDITIONS WILL BE GOVERNED BY THE BUILDING. USE THE DRAWINGS AND SPECIFICATIONS FOR GUIDANCE AND SECURE THE OWNER'S APPROVAL OF ANY AND ALL CHANGES IN ADVANCE.
- 2) ALL WORK, MATERIALS, METHODS ETC. SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
- THE CONTRACTOR SHALL VISIT THE SITE & VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING WORK, ANY DISCREPANCIES SHALL BE REPORTED TO THE BUILDING OWNER.
- 4) THE CONTRACTOR OR SUBCONTRACTOR COVERING ANY OR ALL TRADES SHALL NOTIFY BUILDING OWNER OF ANY CONFLICT BETWEEN CONTRACT DRAWINGS AND SCOPE OF WORK PRIOR TO COMMENCING WORK.
- 15) NO DEVIATIONS FROM THE CONTRACT DOCUMENTS OR SPECIFICATIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM DESIGNER.
- 6) MATERIALS TO BE USED SHALL BE OF FIRST QUALITY. ALL WORK SHALL BE PERFORMED BY SKILLED MECHANICS IN A WORKMANLIKE MANNER.
- 7) CLEAN. PATCH & REPAIR ALL SURFACES DAMAGED BY DEMOLITION OR ALTERATION OF WORK AS REQUIRED, INCLUDING EXISTING FIRE-RATED ASSEMBLIES.
- 8) CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND PROVIDING ALL BUILDING MATERIALS & FINISHES NOT SPECIFICALLY ADDRESSED IN PLANS.
- 9) WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE IN THE CONTRACT DOCUMENTS.
- 0) THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH AND FOR REMOVAL OF ALL DEBRIS FROM THE BUILDING PREMISES. BUILDING WASTE RECEPTACLES ARE NOT TO BE USED FOR CONSTRUCTION DEBRIS.
- 11) THE CONTRACTOR SHALL PICK UP AND PAY FOR ANY PERMITS NOT PROVIDED BY BUILDING OWNER.
- 12) ALL EXISTING WALLS SHALL BE REFINISHED AS NECESSARY FOR SPECIFIED NEW INTERIOR FINISH APPLICATIONS.
- 3) SOME OF THE FINISHES AND FIXTURES CONTAINED IN THIS DOCUMENT ARE ON EXTENDED LEAD TIME AND MAY REQUIRE SPECIAL COORDINATION AND ADVANCED ORDERING. SUBSTITUTIONS WILL NOT BE ALLOWED FOR MATERIALS NOT ORDERED IN A TIMELY FASHION.
- 14) CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL CASEWORK FOR REVIEW AND APPROVAL.

Note: Approved addresses shall be provided for all new buildings in such a position as to be plainly visible and legible from the street or road fronting the property. (PER IRC)

Note: Where ½ inch gypsum board is installed on ceilings framed at 24-inch on center and where a water-based textured finish is to be applied, or where it will be required to support insulation above a ceiling, the $\frac{1}{2}$ inch gypsum board shall be sag resistant ceiling board or increased to 5/8 inch gypsum board. (PER IRC)

Note: Cement, fiber-cement or glass mat gypsum backers in compliance with ASTM C 1288, C 1325 or C 1178 and installed in accordance with manufacturer's recommendations shall be used as backers for wall tile in tub and shower areas and wall panels in shower areas. (PER IRC) Note: Bathtub and shower floors and walls above bathtubs with installed shower heads and in shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor. (PER IRC)

Note: In every kitchen, family room, dining room, living room, parlor, library, den, sunroom, bedroom, recreation room, or similar room or area of dwelling units, receptacle outlets shall be installed in accordance with the general provisions specified in the following articles. Spacing NEC Article 210.52(A) (1), Wall Space NEC Article 210.52(A) (2) as amended & Floor Receptacles NEC Article 210.52(A) (3) as amended.

Note: The following fastened—in—place appliances are required to have a separate minimum 20—ampere circuit: dishwasher, trash compactor, microwave oven, range hood, clothes washer and hydro-massage bathtub. The clothes washer circuit may serve one (1) additional outlet in the laundry area. (PER NEC)

Note: Countertops in kitchen and dining rooms of dwelling units, receptacle outlets for counter spaces shall be installed in accordance with the following articles. Wall Counter Space NEC Article 210.52(C)(1), Island Counter Space NEC Article 210.52(C)(2) as amended, Peninsular Counter Space NEC Article 210.52(C)(3) as amended, Separate Spaces NEC Article 210.52(C)(4) & Receptacle Outlet Locations NEC Article 210.52(C)(5). (NEC Article 210.52(A))

Note: In the kitchen, pantry, breakfast room, dining room, or similar area of a dwelling unit, the two or more 20-ampere small-appliance branch circuits required by 210.11(C)(1) shall serve all wall and floor receptacle outlets covered by 210.52(A), all countertop outlets covered by 210.52(C), and receptacle outlets for refrigeration equipment. (PER NEC)

Note: All 120-volt, single phase, 15- and 20-ampere branch circuits supplying outlets in stalled in dwelling unit rooms shall be protected by a listed arc—fault circuit interrupter, combination type installed to provide protection of the branch circuit. (PER NEC)

Note: No more than (5) duplex receptacle outlets serving the required countertop receptacles shall be installed on any small appliance branch circuit. (PER NEC)

Note: The maximum number of outlets on a 20-ampere, 125-volt circuit used either exclusively for receptacles or exclusively for lighting fixtures or for any combination of receptacles and lighting fixtures shall be 12. (See exceptions) (PER NEC)

Note: Outlet boxes or outlet box systems used as the sole support of a ceiling—suspended (paddle) fan shall be listed, shall be marked by their manufacturer as suitable for this purpose, and shall not support ceiling—suspended (paddle) fans that weigh more than 32 kg (70 lb). For outlet boxes or outlet box systems designed to support ceiling—suspended (paddle) fans that weigh more than 16 kg (35 lb), the required marking shall include the maximum weight to be supported. (PER NFC)

Note: Luminaires in clothes closets shall be installed in accordance with NEC.

Note: All luminaires (fixtures) installed in damp locations shall be marked, "Suitable for Wet Locations" or "Suitable for Damp Locations." (PER NEC) Note: Water heaters shall be anchored or strapped to resist horizontal displacement due to

earthquake motion. Strapping shall be at points within the upper one—third and lower one—third of its vertical dimensions. At the lower point, a minimum distance of four inches shall be maintained above the controls with the strapping. (PER UPC)

Note: Water heaters are required to have a heat trap. Exception: if the trap is integral to the water heater or if part of hot water circulating system. (PER IECC) Note: All building water supply systems in which guick—acting valves are installed shall be

provided with devices to absorb the hammer caused by high pressures resulting from the quick closing of valves. (i.e. dishwashers, washing machines) (PER UPC)

Note: Where applicable, special venting for island fixtures shall comply with UPC. Note: Where a sediment trap is required by code, such as at gas water heaters and furnaces, and is not incorporated as a part of the gas utilization equipment, a sediment trap shall be

installed as close to the inlet of the equipment as practical at the time of the equipment Note: Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of minimum No. 26 gage sheet steel or other approved material and shall have no openings into the garage. (PER IRC)

Note: When a cooling coil or cooling unit is located in an attic or furred space where damage may result from condensate overflow, a secondary drain shall be provided. (PER UMC) Note: The moisture exhaust duct for the domestic clothes dryer shall terminates on the outside of the building and be equipped with a back—draft damper. Screens shall not be installed at the duct termination. The duct should be a minimum 4 inches diameter with a maximum run of 14 feet, including two 90-degree elbows. (PER UMC)

Exception: When exhaust ducts terminate on a roof, backdraft dampers are not required

ABBREVIATIONS

POUND (ALSO NUMBER)

ANCHOR BOLT
ASPHALT CONCRETE
AIR CONDITIONING
ACOUSTICAL
AREA DRAIN
AMERICANS WITH DISABILITIES ACT
ADJACENT OR ADJUSTABLE
ABOVE FINISHED FLOOR
AGGREGATE
AIR HANDLING UNIT
L. ALUMINUM
APPROXIMATE
ARCHITECTURAL
ASPHALT
AUTOMATIC SPRINKLER RISER

DACK OF CIUDP

ANCHOR CONCRETE

ARCHITECTURAL
ASPHALT
AUTOMATIC SPRINKLER RISER MAXIMUM
MEDICINE CABINET
MECHANICAL
MEMBRANE
METAL
MANUFACTURER
MANHOLE
MINIMUM
MIRROR
MISCELLANEOUS
METAL LATH
MASONRY OPENING
MOUNTED
MULLION BACK OF CURB BOARD BITUMINOUS BUILDING BLOCK BLOCKING BEAM BOTTOM BUILT-UP ROOFING NORTH
NEW
NOT APPLICABLE
NOT IN CONTRACT
NUMBER
NOMINAL
NOT TO SCALE BUR. BUILT-UP ROOFII

CAB. CABINET
CB. CATCH BASIN
CCM. CATCH BASIN
CCM. PLAS. CEMENT PLASTER
CI. CAST IRON
CIP. CAST-IN-PLACE
CJ. CONTROL JOINT
CLG. CEILING
CLG. CAULKING
CLO. CLOSET
TH. CLEAR
MU. CONCRETE MASONRY L
OCONSTRUCTION JOINT
COLUMN
C. CONCRETE
V. CONSTRUCTION
T. CONSTRUCTION
T. CONSTRUCTION
T. CONSTRUCTION
CONTRACTOR
CHECKER PLATE
CARPET
CORRIDOR
CERAMIC TILE
COUNTERSINK
COUNTER
COUNTER
COUNTER
CONTRECTOR
CHECKER PLATE
CARPET
CONTER
CONTRECTOR
CONTRESINK
COUNTER
COUNTER
CENTER
DOUBLE OVER ALL
OBSCURE
ON CENTER
OUTSIDE DIAMETER OR OUTSIDE
DIMENSION OR OVERFLOW DRAIN
OWNER FURNISHED—
CONTRACTOR INSTALLED
OFFICE OFFICE
OWNER FURNISHED-OWNER INSTALL
OVERHEAD
OPENING
OPPOSITE
OVERFLOW SCUPPER POLE
PANEL
PERPENDICULAR
PRE-FABRICATED INSULATED PAN
POUR JOINT
PLATE
PROPERTY LINE
PLASTIC LAMINATE
PLASTER
PLUMBING
PLYWOOD
PANT
PAIR
PRECAST
POINT
PANTED
PAVEMENT
QUARRY TILE DOUBLE
DEPARTMENT
DRINKING FOUNTAIN
DETAIL
DIAMETER
DIMENSION
DISPENSER
DOWN
DOOR
DOOR
DOWNSPOUT
DRY STANDPIPE
DRAWER RISER RETURN AIR RE LUKIN ANK
RADIUS
RESILIENT BASE
ROOF DRAIN
REFERENCE
IG. REFRIGERATOR
REINFORCED
ROOF
RESILIENT FLOORINI
ROOM
ROUGH OPENING
REQUIRED
RATED
REDWOOD EAST RF.
EACH RM.
EXTERIOR INSULATION FINISH SYSTEM R.O.
EXPANSION JOINT REO'D
ELECATION RTD.
ELECATION RWD.
ELECATION ST.D.
ELECATION S.D.
ELECATION S.D.
ELECATION S.D.
ENGERGENCY S.A.
ENCLOSURE SB.
ENGINEER SC.
EDGE OF SLAB S.CHED.
ELECATION S.C.
ELECAT EP. ELECTRICAL PANEL
EQ. EQUIP.
EQUIP. EQUIPMENT
ESCAL. ESCALATOR
EWC. ELECTRIC WATER COOLER
EXH. EXHAUST
EXPO. EXPOSED
EXST., (E) EXISTING
EXP. EXPANSION
EXT. EXTERIOR SECTION
SHELF
SHEAT SHEAT HING
SHOWER
SHOWER
SIMILAR
SLIDING DOOR
SCORE LINE
SPECIFICATION
SQUARE
SERVICE SINK
STANLESS STEEL
STONE
STANDARD
STEAL
STORAGE
STRUCTURAL
SUSPENDED
SUPERVISOR
SHEET VIMY
SWITCHBOARD
STMETRICAL EXTANSION
EXTERIOR

FIRE ALARM
FORCED AIR UNIT
FURNISHED BY OTHERS
FLOOR DRAIN
FOUNDATION
FIRE EXTINGUISHER CABINET
FINISH FLOOR
FACTORY FINISH
FINISH GRADE
FIRE HYDRANT
FIRE HYDRANT
FINISH HIGH POINT
FINISH HIGH POINT
FINISH SURFACE
FLOOR
FLOW LINE
FINISH LOW POINT
FLOOR SINK
FLASHING
FLUORESCENT
FACE OF FORCE
FACE OF FORCE
FACE OF STUD
FACE OF STUD
FACE OF SHEATHING
F SYMMETRICAL

TREAD

TREAD

TACKBOARD

TOP OF CURB

TELEPHONE

TRANSFORMER

TONGUE AND GROOVE

THICK

TOOL JOINT

TOP OF

TOP OF CONCRETE

TOP OF SATOR

TOP OF PARAPET

TOP OF SLAB

TOP OF SHEETING

TOP OF WALL

TOP OF WALL

TOP OF WALL

TOP OF PAVEMENT

TUBE STEEL

TUBE STEEL

TUBE STEEL

TUBE STEEL

TUBE STEEL

TELEVISION

TYPICAL GACE
GALVANIZED
GRAB BAR
GENERAL CONTRACTOR
GLASS FIBER REINFORCED CONCRETE
GLASS FIBER REINFORCED GYPSUM
GALVANIZED IRON
GALVANIZED IRON
GROUND
GROU UNFINISHED
UNLESS NOTED OTHERWISE
URINAL VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALLCOVERING WEST
WITH
WATER CLOSET
WALL COVERING
WOOD
WIDE FLANGE
WATER HEATER
WINDOW OPENING
WITHOUT
WATERPROOF
WATER RESISTANT
WAINSCOT
WET STANDPIPE
WEIGHT H. HIGH
HB. HOSE BIBB
HC. HOLLOW CORE
HDR. HEADER
HDWD. HARDWOOD
HDWE., HDW. HARDWARE
HGT., HT. HEIGHT
HM. HOLLOW METAL
HP. HORSEPOWER
HP. HIGH POINT
HOR, HORIZ HORZONTAL
HR. HOUR

INCANDESCENT
INSIDE DIAMETER OR INSIDE DIMENSION
OR INTERIOR DESIGN
INFORMATION
INSULATION
INTERIOR
ISOLATION
ISOLATION

JANITOR JOIST

OH APPROVED - 08/17/2021

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REVISIONS

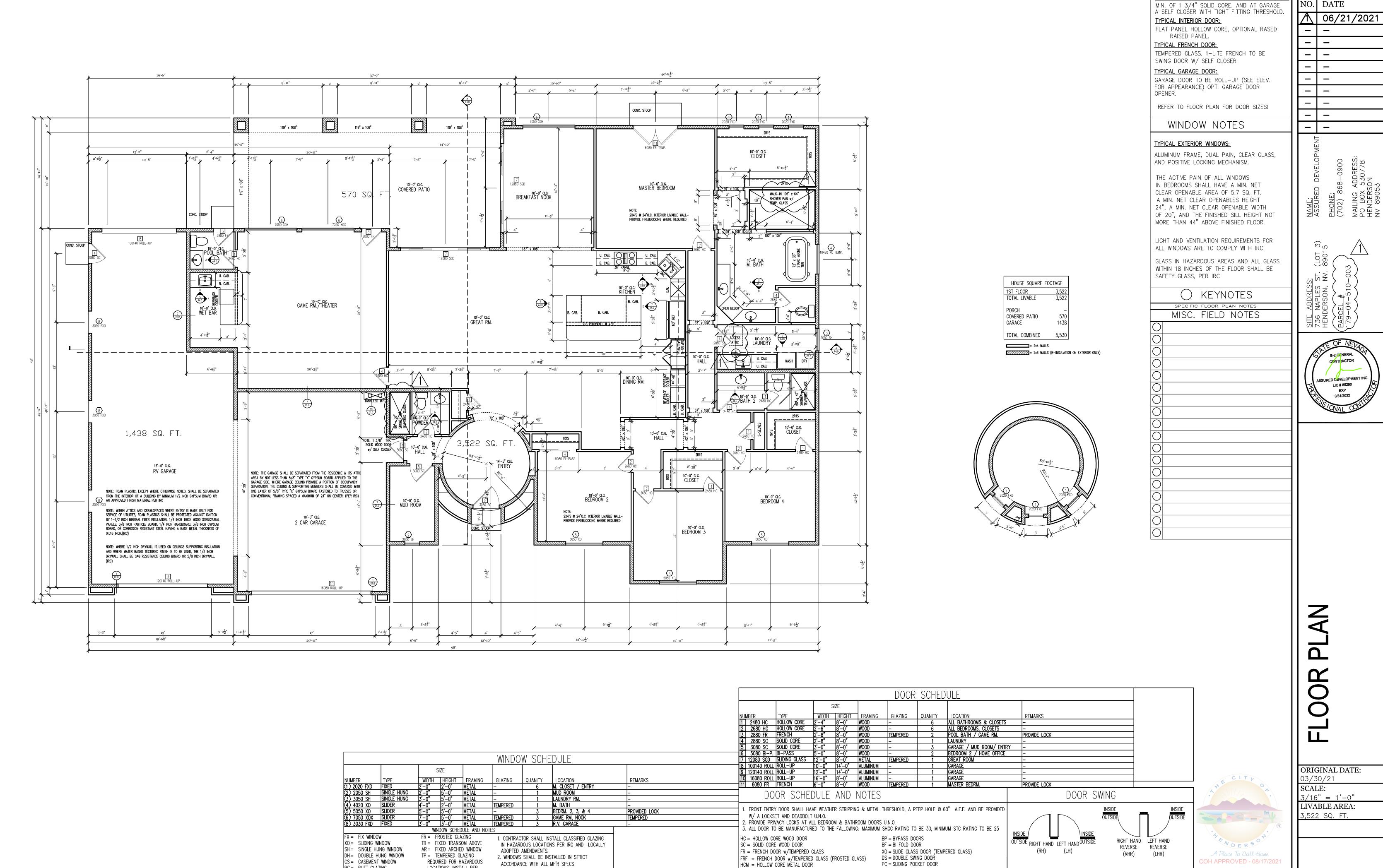
/1\ 06/21/2021

DATE

(LOT 890

ORIGINAL DATE: 03/30/21 SCALE: 3/16" = 1'-0"

LIVABLE AREA: 3,522 SQ. FT.



WI = CUSTOM TEMPERED GLASS DOOR

GL = MANUFACTURED GLASS SHOWER DOOR TEMPERED

LV = LOUVERED DOOR

FRD = SOLID WOOD DOOR, NOT LESS THAT 1-3/8"

OR 20 MINUTE RATED, w/SELF CLOSER.

BG = BUTT GLAZING

HD = FIXED HALF ROUND WINDOW

LOCATIONS, INSTALL PER

ADOPTED AMENDMENTS TO THE

IBC, IRC & ALL LOCALLY

3. ALL WINDOWS TO BE MANUFACTURED TO THE

MINIMUM STC RATING TO BE 25.

FALLOWING: MAXIMUM SHGC RATING TO BE 30,

BSFD2021143709_Arch_V2

Scale: 3/16'' = 1'-0''

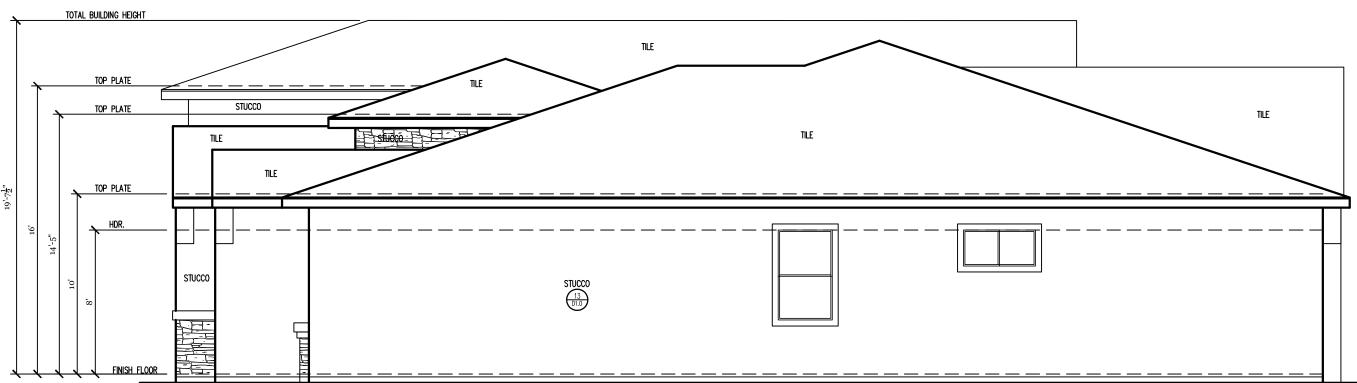
DOOR NOTES

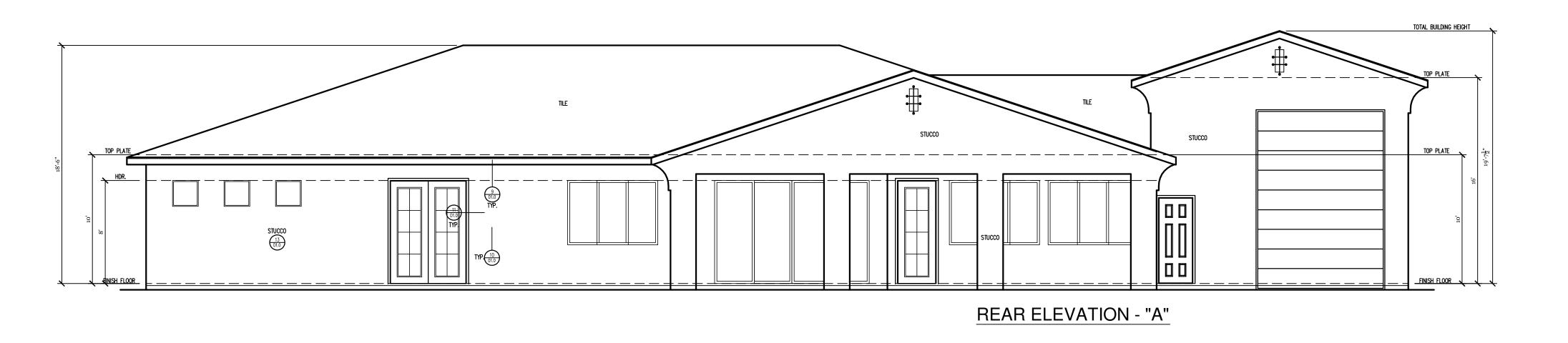
TYPICAL EXTERIOR DOOR AND GARAGE MAN DOOR

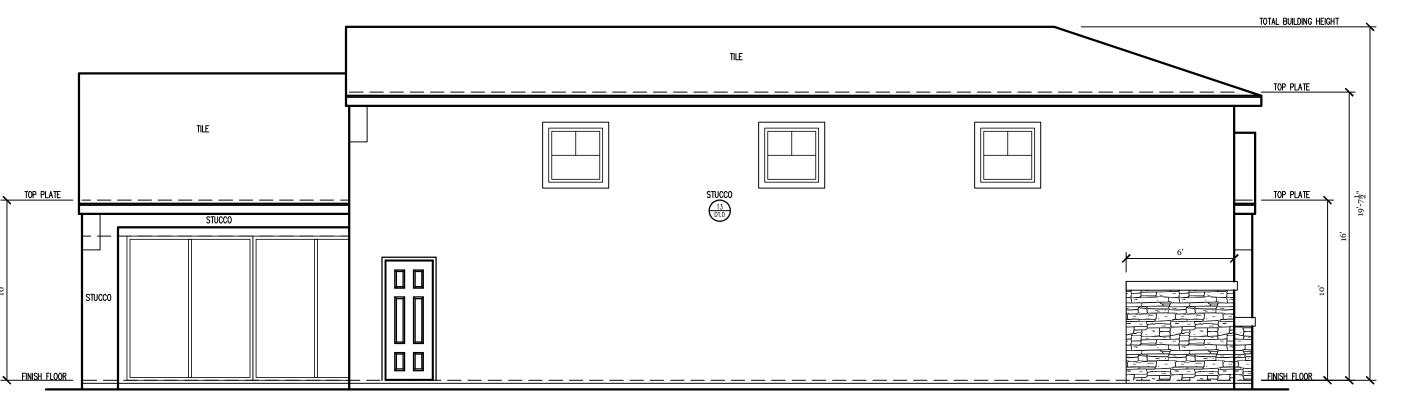
REVISIONS

LIC # 85290







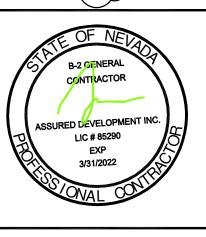


LEFT ELEVATION - "A"

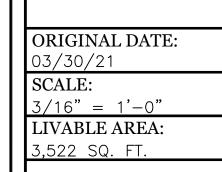
RIGHT ELEVATION - "A"

ASSURED DEVELOPMENT
PHONE:
(702) 868-0900
MAILING ADDRESS:
PO BOX 530778
HENDERSON

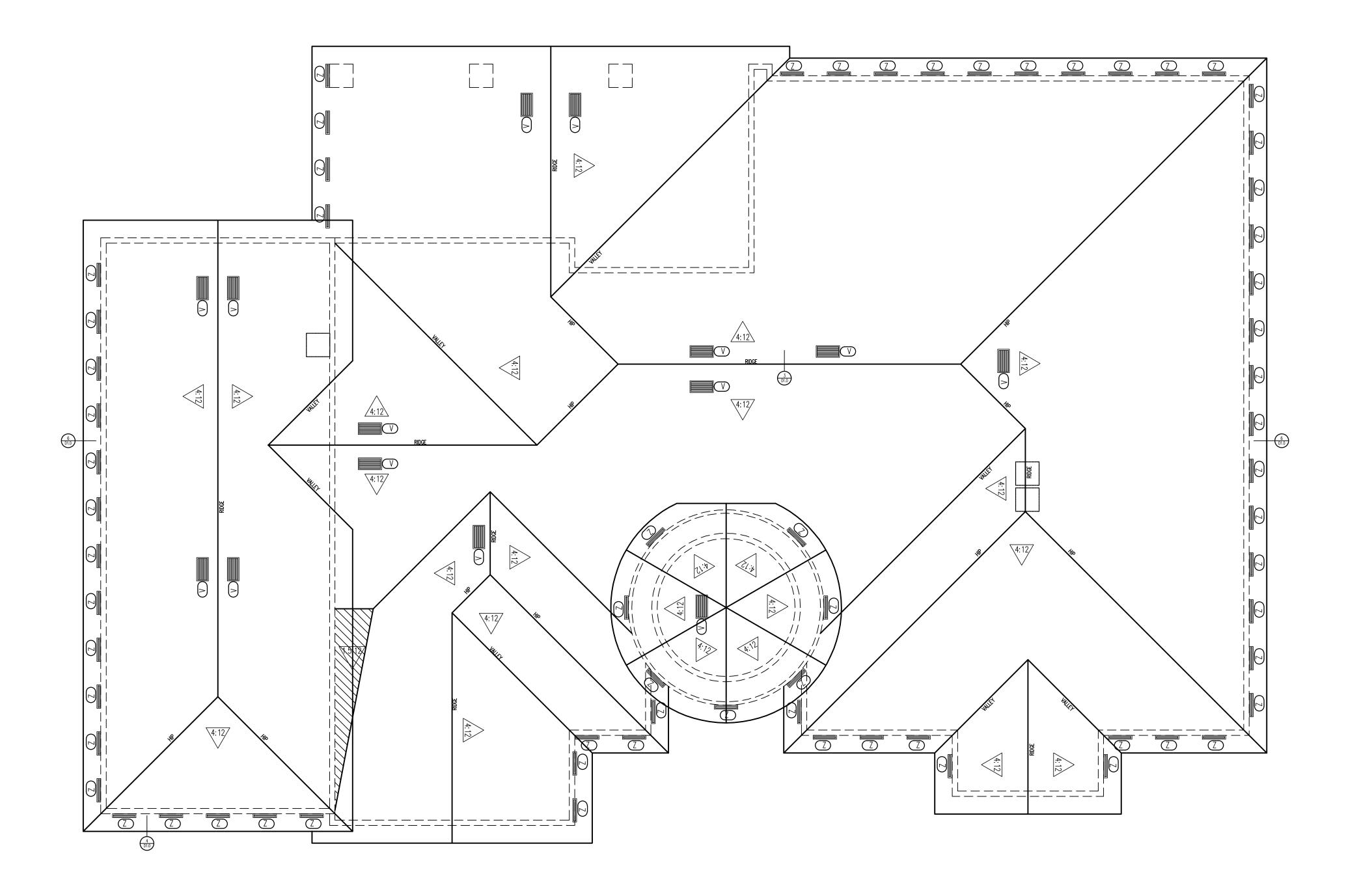
SILE ADDRESS:
736 NAPLES ST. (LOT 3)
HENDERSON, NV. 89015
PARCEL #
179-04-510-003







A Place To Call Home
COH APPROVED - 08/17/2021



ATTIC VENTILATION INFO. **REVISIONS** NO. DATE (1/300)Ventilation Rule
ATTIC SPACE SQ. FT. <u>/\</u> 06/21/2021 TOTAL ROOF 5,951 Divided By 300 = 19.84 High @ 50% (MAX): 9.92 Low @ 50%: 9.92

 TOTAL:
 19.9

 VENT TYPE
 CONFIGURATION FREE AREA FREE AREA
 SQ. FT. OF FREE AREA TYPE
 CONFIGURATION FREE AREA TYPE
 SQ. FT. OF FREE AREA TYPE
 CONFIGURATION FREE AREA 36" x 36" x 36" 5.118

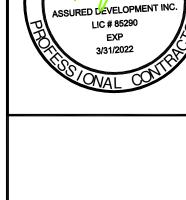
 □ 12" x 18"
 0.666
 □ 6' TRI-VENT 1.7
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Garage + Livable + Porch + Patio (Sq.Ft.)= Total Sq.Ft.

VENTILATION
AREA FORMULA (300) or (150) = FREE VENT AREA

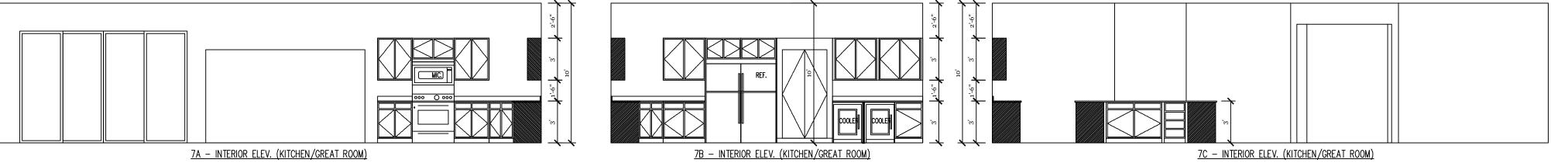
ALL ATTIC VENTILATION SHALL COMPLY

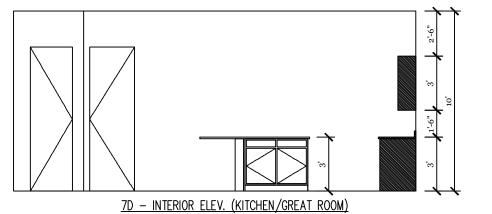


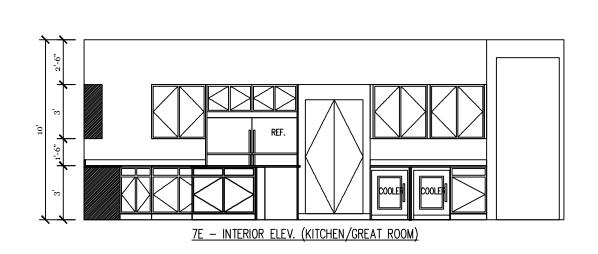


A Place To Call Home
COH APPROVED - 08/17/2021

ORIGINAL DATE: 03/30/21 SCALE: 3/16" = 1'-0" LIVABLE AREA: 3,522 SQ. FT.







A Place To Call Home
COH APPROVED - 08/17/2021

A4.0

ORIGINAL DATE: 03/30/21
SCALE: 3/16" = 1'-0"
LIVABLE AREA:

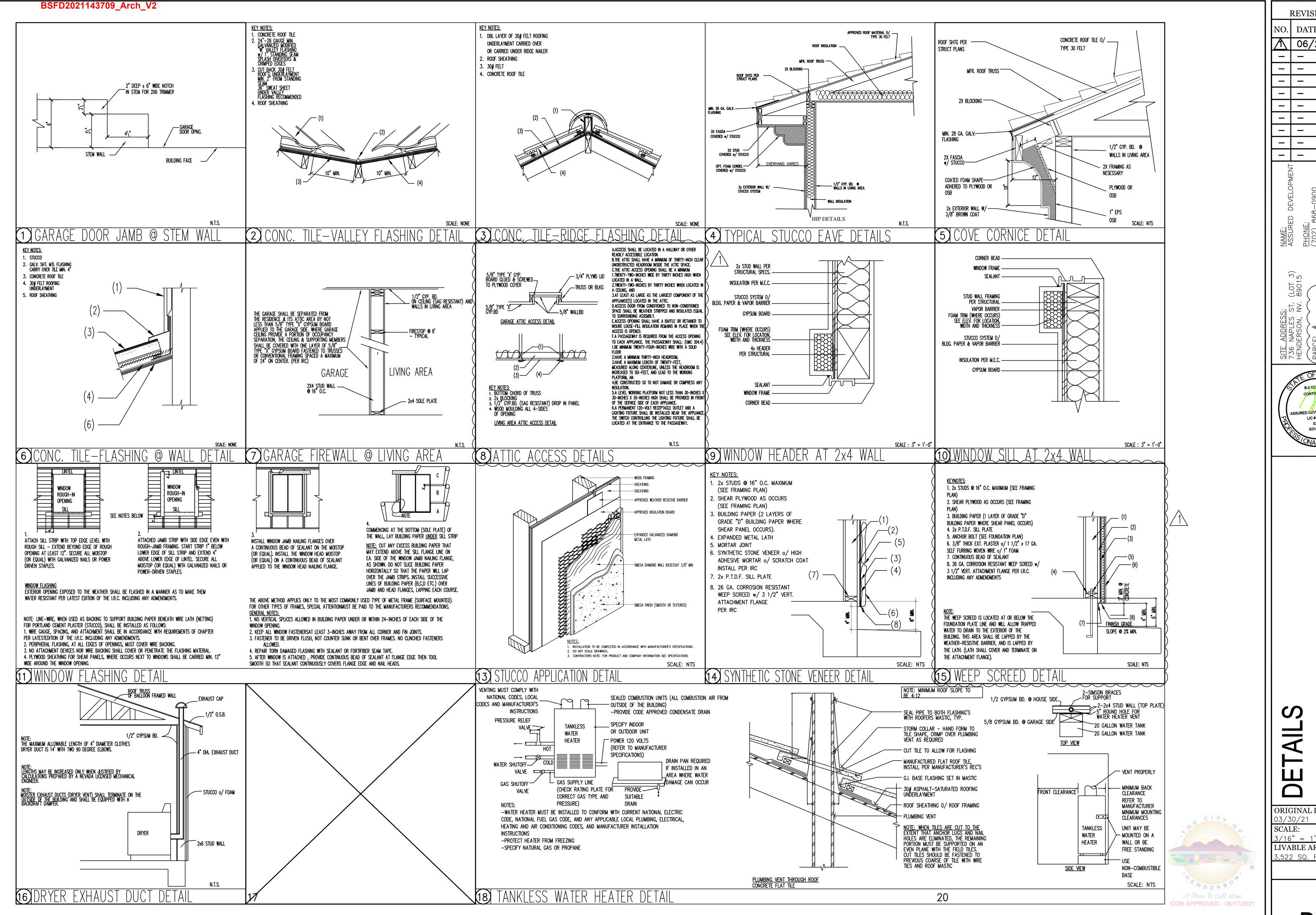
3,522 SQ. FT.

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REVISIONS

1 06/21/2021

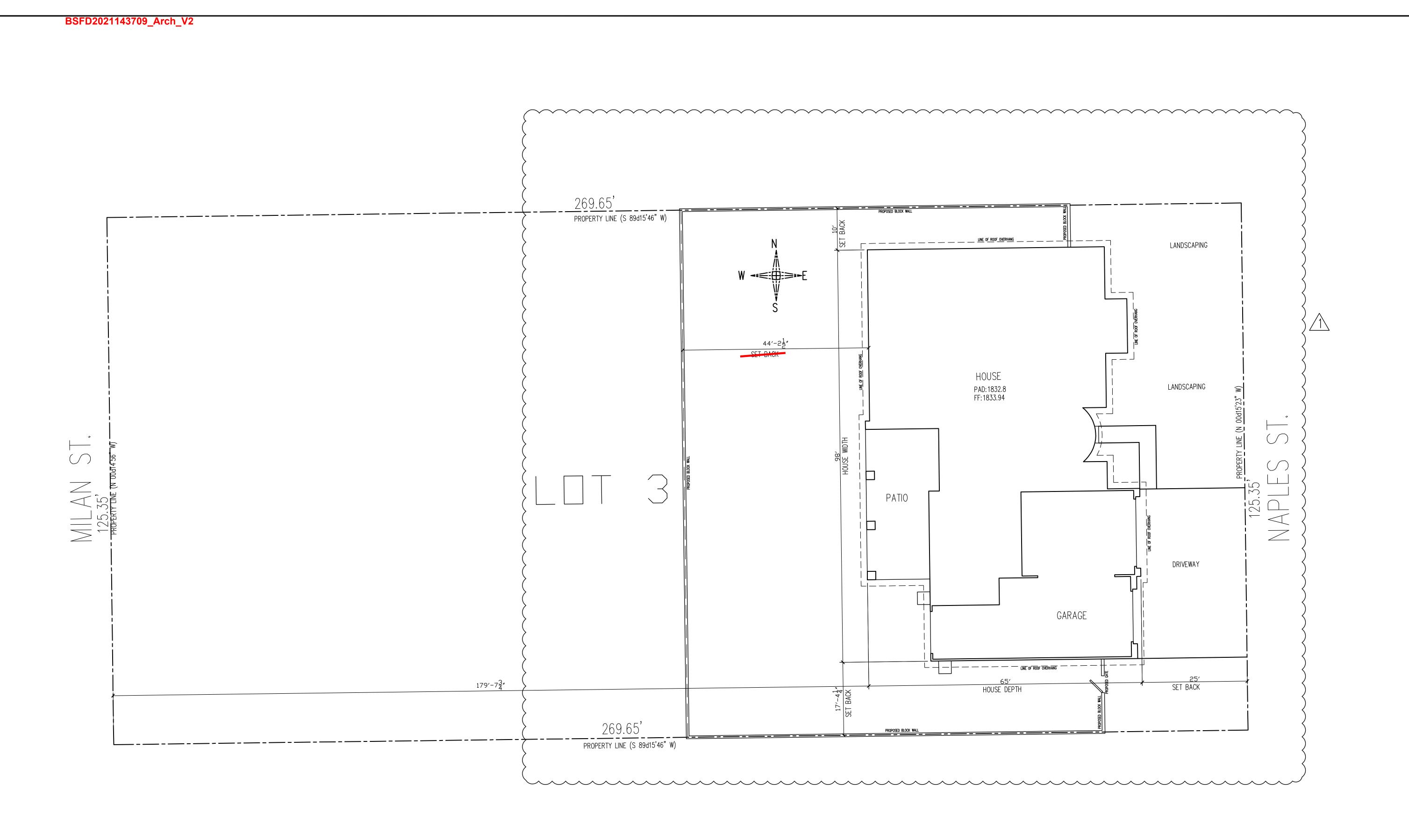
NO. DATE



REVISIONS DATE 06/21/2021



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SITE ADDRESS:
736 NAPLES ST. (LOT 3)
HENDERSON, NV. 89015
PARCEL #
(179-04-510-003)



SITE PLAN

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